

# BAYFIELD HERITAGE CONSERVATION DISTRICT PLAN AND GUIDELINES



SEPTEMBER 2024

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Prepared for the Municipality of Bluewater

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In association with:  
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# TABLE OF CONTENTS

<b>1.</b>	<b>INTRODUCTION .....</b>	<b>6</b>
1.1	Purpose of the Heritage Conservation District Plan .....	6
1.2	Organization of the Heritage Conservation District Plan.....	9
<b>2.</b>	<b>BAYFIELD HERITAGE CONSERVATION DISTRICT PLAN OVERVIEW .....</b>	<b>10</b>
2.1	Bayfield Heritage Conservation District Planning Process .....	10
2.2	Public Engagement and Community Consultation .....	11
<b>3.</b>	<b>CONTEXT, OBJECTIVES AND PROPERTY IDENTIFICATION.....</b>	<b>14</b>
3.1	Description of Heritage Context .....	14
3.2	Statement of Objectives of the HCD .....	19
3.3	Statement of Cultural Heritage Value .....	20
3.4	Description of Heritage Attributes of the HCD .....	25
3.5	District Boundary .....	27
3.6	Identification of Contributing and Non-contributing Properties .....	29
<b>4.</b>	<b>DISTRICT-WIDE GUIDELINES .....</b>	<b>32</b>
4.1	Purpose .....	32
4.2	Definition .....	33
4.3	General Building Design: Alterations .....	35
4.4	General Building Design: Additions and New Buildings .....	57
4.5	Guidelines for Public and Civic Realm .....	63
4.6	Adjacent Lands .....	67
4.7	Character Area Specific Guidelines .....	68
<b>5.</b>	<b>HERITAGE PERMIT APPROVAL PROCESS .....</b>	<b>71</b>
5.1	Purpose .....	71
5.2	Work Requiring Approvals.....	72
5.3	Heritage Permit Process .....	74
5.4	Submission Requirements for a Heritage Permit.....	75
5.5	Roles and Responsibilities .....	78
5.6	Appeals Process.....	80
5.7	Education and Promotion.....	81
5.8	Incentive Programs .....	82
	<b>APPENDIX A: List of properties within the HCD Boundary .....</b>	<b>83</b>
	<b>APPENDIX B: Heritage Colour Palettes.....</b>	<b>108</b>

## List of Tables

Table 1: Property Status in the Updated HCD Boundary.....	31
Table 2: List of Recommended Plant Species.....	52
Table 3: Heritage Permits and Exemptions for Properties within the HCD .....	72

## List of Figures

Fig.1: How to read the HCD Plan.....	8
Fig.2: Public Open House held prior to Council meeting in July 2024.....	12
Fig.3: Public Open House and Stakeholders Meetings held in November 2023 and February 2024. ....	13
Fig.4: 14 Bayfield Main Street North (constructed 1854) Photographed circa 1948 (Photo courtesy of Bayfield Historical Society) .....	16
Fig.6: Clan Gregor Square (c. 1902) (Photo courtesy of Bayfield Historical Society).....	16
Fig.8: The New Bridge across Bayfield River (Photographed c. 1950s) (Photo courtesy of Bayfield Historical Society).....	16
Fig.5: Bayfield Harbour (c. 1900-1909) (Photo courtesy of Bayfield Historical Society) .....	16
Fig.7: Historic Bayfield Main Street North, showing the established treescape (Photo courtesy of Bayfield Historical Society) .....	16
Fig.9: Thomson's Mill on the Bayfield River Flats (c. 1907) (Photo courtesy of Bayfield Historical Society).16	
Fig.10: 8 Bayfield Main Street North (constructed 1860) (Photo courtesy of Bayfield Historical Society)....	17
Fig.11: 7 The Square (Photo courtesy of Bayfield Historical Society) .....	17
Fig.13: 12 Bayfield Main Street North (Photo courtesy of Bayfield Historical Society) .....	17
Fig.12: 10 The Square (Photo courtesy of Bayfield Historical Society).....	17
Fig.14: 21 Bayfield Main Street North (Variety Store) (Photo courtesy of Bayfield Historical Society) .....	18
Fig.16: 21 Bayfield Main Street North (Red Pump Shop) (Photo courtesy of Bayfield Historical Society)....	18
Fig.15: Red Pump and Village Guild (constructed 1970s) (Photo courtesy of Bayfield Historical Society)....	18
Fig.17: Example of the Georgian Commercial style (1 Bayfield Main North).....	23
Fig.18: Example of the Carpenter Gothic style (11 The Square) .....	23
Fig.19: Example of the Contemporary Cottage style infill building (18 Bayfield Main North). ....	23
Fig.20: Example of the Italianate style (13 The Square) .....	24
Fig.22: Example of the Ontario Cottage style (12 The Square) .....	24
Fig.21: Example of the Ecclesiastical style (2 Bayfield Main North) .....	24
Fig.23: The Updated HCD Boundary .....	28
Fig.24: The Updated HCD Boundary showing contributing and non-contributing (including character supporting) properties in the HCD .....	30
Fig.25: Examples of roof types in the HCD.....	36
Fig.26: Map of roof materials within the HCD Boundary .....	37
Fig.27: When painting over bricks moisture can be trapped in the wall, causing damage .....	38
Fig.29: Example of how detailed (wood) trim around a vinyl window design serves as a good example of using non-traditional materials that complement the character of the building effectively.....	39
Fig.28: Examples of window modulation (top) and storefront design (bottom) of Bayfield Main Street buildings.....	39
Fig.30: Example of notable design as seen in some of the buildings along Main Street are display windows with arched-shaped transoms.....	40
Fig.31: Example of entrance ramp attached with the least amount of damage to the building and aesthetically complementing the building (10 Bayfield Main Street North) .....	41



Fig.32: Example of Main Street building with covered porches on both levels, running the width of the facade, with a decorative white railing (The Albion Hotel, Bayfield Main Street).....	42
Fig.33: Examples of heritage colour palettes .....	43
Fig.34: Example of how branding and signage is prominent and visible from the street.....	44
Fig.35: Examples of how sign illuminations are demonstrated. ....	45
Fig.36: Storefront Fascia Signs with correctly proportioned sign panel can work well within the defined sign band.....	46
Fig.37: Projection Sign allows a business to showcase their brand and increases pedestrian visibility.....	47
Fig.38: Entry doors are the perfect location for reinforcing the identity and displaying store hours.....	48
Fig.39: Window Sign should be individual letters so as not to block merchandising area and views into the store.....	48
Fig.40: Awning Sign can serve effectively as the primary identification of a retailer if no suitable location for a fascia sign exists.....	49
Fig.41: Handwritten sandwich boards offer another opportunity for attracting customers.....	50
Fig.42: Open green space between the residential building and the street, featuring a combination of grass and mature trees, provides a sense of openness and spaciousness within the streetscape.....	51
Fig.43: Example of low stone wall with hedge planting, combining materials, while ensuring the overall height is maintained. ....	53
Fig.44: Example of perimeter hedge.....	53
Fig.45: Buildings along Main Street with wider side yards maintain a consistent rhythm through generous spacing between adjacent buildings, preserving visual connections. ....	55
Fig.46: Example of Village Bookstore exemplifies the setting or space around the building, which creates legibility as to the structure's original use and continued 'dwelling like' presence. ....	56
Fig.47: Example of storefronts maintaining positioning of both natural and built elements, as well as the visual and physical connections (16 Bayfield Main Street North) .....	56
Fig.48: Example of two-storey building appropriately placed adjacent to a one-storey building providing seamless transition .....	58
Fig.49: Example of how to incorporate an exterior staircase.....	60
Fig.50: Example of non-traditional materials used as additions (Goderich Town Hall).....	61
Fig.51: Example of patio located in the building frontage enhanced with decorative fencing, landscape planters and complementary metal chairs and tables.....	62
Fig.52: Streetscape elements such as paved sidewalk and grassed boulevard with trees along Bayfield Main Street North. ....	63
Fig.53: Mature tree providing canopy for various properties.....	66
Fig.54: A distinguished mature tree serves as a picturesque green backdrop for end of street views. ....	66
Fig.55: "House in a forest" with extensive soft landscaping surrounding the property.....	66
Fig.56: Character areas identified within the Updated HCD Boundary .....	68
Fig.57: Heritage Permit Process.....	74

# 1. INTRODUCTION

## 1.1 Purpose of the Heritage Conservation District Plan

The purpose of the Bayfield Heritage Conservation District (HCD) Plan is rooted in its adoption in 1983 under By-law 182-1982, safeguarding 31 properties along Bayfield Main Street North and around Clan Gregor Square under Part V of the Ontario Heritage Act (OHA). Subsequent changes to the OHA in 2005 and 2023, along with the introduction of the Bayfield Secondary Plan in 2023, necessitate the revision of the Bayfield HCD to ensure alignment and compliance with the current legislative framework and reaffirm community commitment to the long term conservation of the District. These updates seek to provide enhanced clarity and specific guidelines that will aid landowners and Municipal staff in the design and review of development applications and heritage permits within the District and will inform Municipal staff and Council when reviewing and making decisions regarding any proposed changes.

The Bayfield HCD Plan is developed in accordance with Part V, Section 41.1(5) of the Ontario Heritage Act, R.S.O. 1990, c. 0.18 and includes:

- A Statement of Objectives to be achieved in designating the area as the Bayfield HCD;
- A Statement of Cultural Heritage Value for the Bayfield HCD;
- A Description of the Heritage Attributes of the Bayfield HCD;
- Policy statements, guidelines and procedures for achieving the stated objectives and managing change in the Bayfield HCD; and,
- A description of external alterations or classes of external alterations that are of a minor nature that a property owner can carry out without obtaining a permit.

Additionally, the OHA requires that the Bayfield HCD Plan conform to the requirements set out in Ontario Regulation 9/06 (O. Reg. 9/06) Criteria for Determining Cultural Heritage Value or Interest. These requirements include the provision that at least 25% of the properties within the District boundary must meet two or more of the following criteria for determining cultural heritage value or interest:

1. The properties have design value or physical value because they are rare, unique, representative or early examples of a style, type, expression, material or construction method;
2. The properties have design value or physical value because they display a high degree of craftsmanship or artistic merit;
3. The properties have design value or physical value because they demonstrate a high degree of technical or scientific achievement;
4. The properties have historical value or associative value because they have a direct association

with a theme, event, belief, person, activity, organization or institution that is significant to a community;

5. The properties have historical value or associative value because they yield, or have the potential to yield, information that contributes to an understanding of a community or culture;
6. The properties have historical value or associative value because they demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community;
7. The properties have contextual value because they define, maintain or support the character of the district;
8. The properties have contextual value because they are physically, functionally, visually or historically linked to each other; or,
9. The properties have contextual value because they are defined by, planned around or are themselves a landmark.
10. In order for these guidelines to be interpreted, Figure 1 provides an aid to assist with interpretation to use this plan for changes to individual properties as well as public spaces.

An explanation of how the Bayfield HCD satisfies the requirements of O. Reg. 9/06 is provided in Section 3.3.

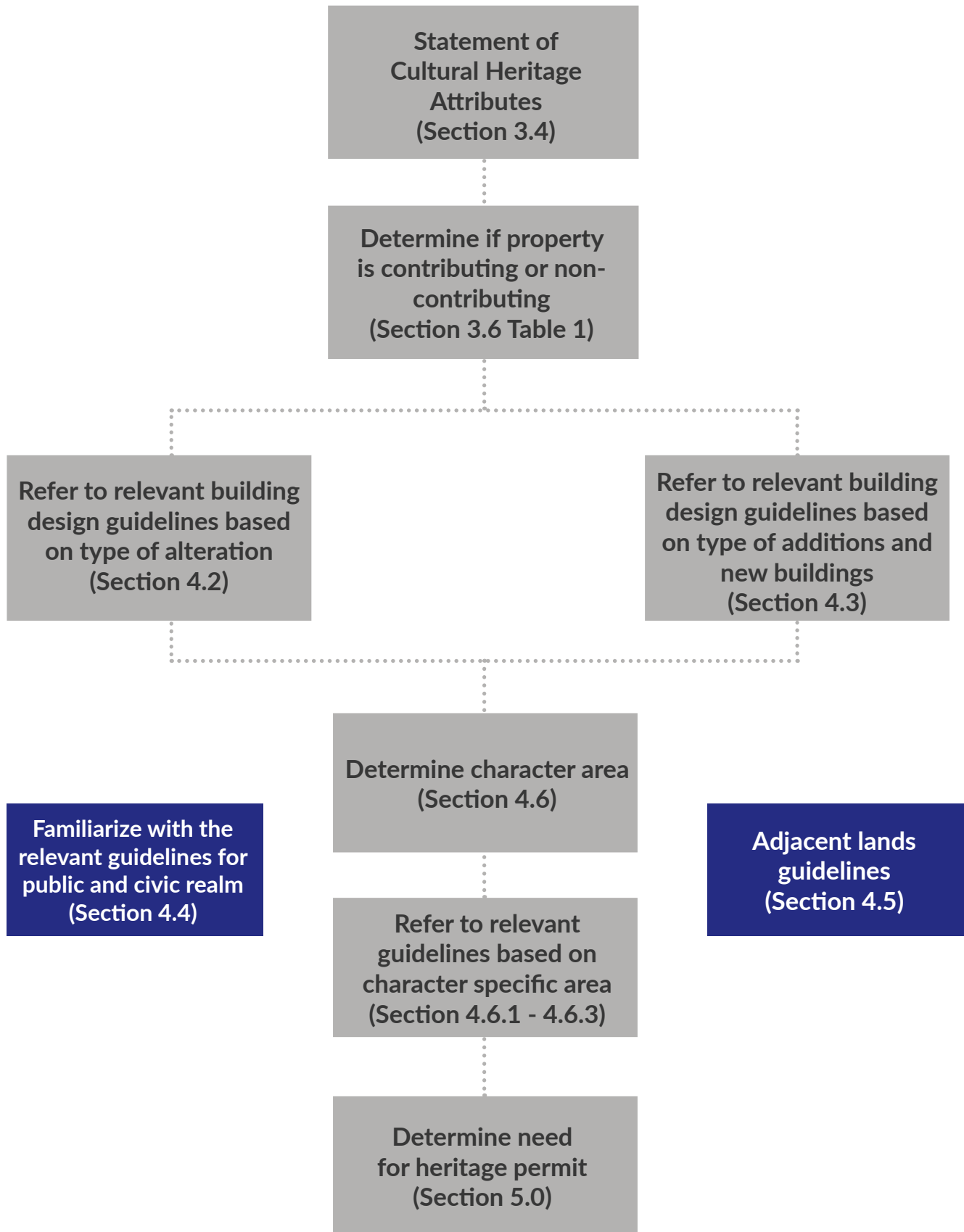


Fig.1: How to read the HCD Plan

## 1.2 Organization of the Heritage Conservation District Plan

The Bayfield Heritage Conservation District Plan (HCD) has been divided into several sections and subheadings for different topics and components, and it consists of the following sections:

### Section 1. Introduction

Section 1 provides an overview of the purpose of the HCD Plan.

### Section 2. Bayfield Heritage Conservation District Overview

Section 2 outlines the process of updating the HCD in Bayfield, involving two phases: refining the boundary in Phase One and developing guidelines in Phase Two to preserve the area's historical character.

The HCD Plan serves as a regulatory tool, providing clear guidance for residents, property owners, and municipal authorities on heritage conservation within the district. This section also provides a summary of the public consultation process.

### Section 3. Context, Objectives, and Property Identification

Section 3 provides an overview of Bayfield's heritage, highlighting its historical evolution and cultural significance. It introduces the statement of cultural heritage values and District heritage attributes and includes a description of the refined District boundary.

This section formally identifies properties contributing to the heritage character of the HCD and categorizes the buildings and properties within the HCD into contributing and non-contributing properties.

### Section 4. District Wide Guidelines

Section 4 provides guidelines for buildings and public and civic realm. The guidelines provide direction on maintenance, alteration, addition, demolition, conservation, and new development in the District.

### Section 5. Heritage Permit Approval Process

Section 5 provides information on the Heritage Permit process and its proposed approval streams as well as a description of the associated roles and responsibilities for Municipal staff, the Municipal Heritage Committee, Council and Property Owners. This section concludes with providing useful resources and tools, promoting understanding and engagement.

## 2. BAYFIELD HERITAGE CONSERVATION DISTRICT PLAN OVERVIEW

### 2.1 Bayfield Heritage Conservation District Planning Process

The overall process of determining and planning the Heritage Conservation District in Bayfield comprises two phases:

- Phase One is the HCD Study Phase that involved evaluating, identifying and recommending a refined boundary for the Heritage Conservation District in Bayfield.
- Phase Two focuses on the development of appropriate guidelines to protect the heritage attributes of the District.

Phase One focused on a review of existing policies and guidelines, research on the history of the settlement, identification of architecturally and/or historically significant properties, and examination of landscape features in the study area.

Phase Two of the Bayfield HCD Plan focuses on developing guidelines to preserve and enhance the heritage attributes of the District. It provides a structured framework for managing and conserving heritage resources within the District. Clear guidelines ensure that any changes align with the area's historical character and contribute positively to its preservation. Moreover, the HCD Plan serves as a regulatory tool, allowing the Municipality to officially recognize and protect properties integral to Bayfield's history. This helps maintain the village's unique identity and charm for both current and future generations.

To develop a cohesive Bayfield Heritage Conservation District Plan and associated design guidelines, the Heritage Analysis Report recommended specific requirements for the HCD Plan to identify and protect the cultural heritage resources of the District in accordance with the Ontario Heritage Act and industry best practices. These requirements include:

- Revisions and updates to the Statement of Objectives;
- Articulation of a Statement of Cultural Heritage Value;
- Description of the Heritage Attributes of the HCD overall, the distinct character areas of "Clan Gregor Square", "Main Street" and "Pioneer Park Meadows" as well as the individual properties in the District;
- Boundary Revisions to encapsulate "Clan Gregor Square", "Main Street" and "Pioneer Park Meadows" character areas;
- Identification of properties to be designated as Contributing or Non-Contributing (as well Character Supporting) under Part V of the Ontario Heritage Act;
- Guidelines and procedures for achieving the outlined Objectives; and,
- Description of type of alterations requiring Minor and Major Heritage Permits.



The Bayfield HCD Plan serves as a guiding document for residents and owners of the properties within the District, Municipality of Bluewater staff, the Heritage Advisory Committee, Council, and other external agencies.

It provides residents and business/property owners with clear guidance regarding appropriate maintenance, alteration, addition, demolition, conservation, and new development and assists Municipal staff and Council in reviewing and making decisions on heritage permit and development applications within the Bayfield Heritage Conservation District.

## 2.2 Public Engagement and Community Consultation

The Ontario Heritage Act, Part V, Section 41.1, outlines statutory requirements for public engagement as it relates to the adoption of HCD Plans. Specifically, Section 41.1(6) of the Act states that the information related to the HCD Plan, including the HCD Plan document, is made available to the public, as well as presented to at least one public meeting and the Municipal Heritage Committee (i.e., Bluewater Heritage Advisory Committee).

With regard to the Bayfield Heritage Conservation District Plan, the public engagement plan was set out to not only fulfill the requirements noted above, but to meaningfully engage the community and key stakeholders through the development of both the HCD Study and Plan document updates. Details of past public engagement events for the HCD Study and Plan phases are outlined below:

### Public Open House: November 4th, 2023

During this introductory public engagement session, the consultant team had several insightful conversations with local residents about how “Bayfielders” experience the Village, including their perceptions of what boundaries might constitute a delineation of “Old Bayfield,” and a sense of their community values about Bayfield as a whole. In turn, this feedback provided an initial sense of community priorities for what the HCD needs to achieve so that it may best serve the Village residents (both permanent and seasonal, as well as business owners). Our understanding of “Old Bayfield,” and the different component parts that comprise this area, have been informed through feedback from the Public Open House. Attended by local stakeholders, including business and property owners, members of the Municipal Heritage Advisory Committee, and Council members, a total of 16 individuals participated in these sessions.

Specifically, this community consultation session revealed several concerns, which largely pertained to the existing HCD’s ambiguity regarding alterations to current contributing properties and the heritage permit process, with an emphasis on the need to tighten guidelines to ensure a harmonious mix of business, development, and character retention across the District. Specific mention was given to incorporating the additional properties along Main Street North that were excluded from the original HCD. The preservation of walkability, old cottages, and the physical and visual access to Pioneer Park were also mentioned.

### Public Open House: February 7th and 8th, 2024

Two community consultation meetings took place on February 7th and 8th, 2024, aiming to provide a comprehensive update on the HCD Study and outline the forthcoming steps in

updating the HCD Plan. Attended by local stakeholders, including business and property owners, members of the Bluewater Heritage Advisory Committee, and Council members, a total of 44 individuals participated in these sessions.

During the meetings, the GSP team delivered a presentation covering project updates, an overview of the HCD Study, analysis, character areas, evaluation, and recommendations. Attendees were encouraged to share feedback on the evaluation and recommendations of the HCD Study. One key theme that emerged from the discussions was a call for education and clear guidelines, concerns about lack of awareness about available grants for HCD maintenance, and requests for specified processes for alterations. Participants inquired about the simplicity of the Heritage Permit process under the proposed HCD Plan and sought clarification on what types of repairs and alterations would require a Heritage Permit. A strong desire for minor permits to be delegated to staff.

Participants also expressed their strong desire for abundant tree coverage within the district, appreciation for greenery and stressed the significance of preserving and enhancing the natural landscape.

Furthermore, concerns were raised regarding the excessive presence of signage, with participants highlighting the visual clutter caused by numerous signs and suggesting measures for more effective signage management and ensure accessibility.

#### **Statutory Public Meeting: July 8th, 2024**

The statutory public meeting on July 8th, 2024, was convened to present the draft Bayfield Heritage Conservation District (HCD) Plan to the Council. The meeting sought to share the draft plan and guidelines, gather final feedback from both the Council and the community, and identify any necessary revisions. Prior to this meeting, a Public Open House was also held to solicit community input on the draft plan.



Fig.2: Public Open House held prior to Council meeting in July 2024.





Fig.3: Public Open House and Stakeholders Meetings held in November 2023 and February 2024.

### 3. CONTEXT, OBJECTIVES AND PROPERTY IDENTIFICATION

#### 3.1 Description of Heritage Context

Bayfield's history is characterized by several phases of development, largely driven by the evolution of its local economy. Early grist and sawmills, especially the Thomson's Mill complex on the river flats, established the early port town as an important hub in the nascent, regional trade of agricultural and timber goods across Lake Superior, Lake Huron, and Lake Erie. The development of reliable overland connections to the nearby settlements of Clinton, Goderich, and London in the latter decades of the 19th century, as well as the expansion of the fishing industry, further solidified Bayfield's role as a key trade hub. As agricultural and timber exports declined in the late 19th and early 20th centuries, the development of Highway 21 and concerted efforts by residents to preserve and enhance community amenities and heritage resources, established Bayfield as a destination for seasonal residents and tourists.

##### **Landform Context:**

Bayfield is sited atop a broad plateau on the eastern shore of Lake Huron. The glacial retreat left behind fertile soils for mixed-deciduous forests and agricultural development, which have sustained millennia of human settlement. The bluffs along the eastern shore of Lake Huron and along the Bayfield River valley also provide the village with some protection from breaking waves and a degree of isolation.

The Bayfield River valley, and its alluvial flats, profoundly influenced the development of human settlement in the region. As a spawning ground for fish, the river flats constituted an important Indigenous site for fishing and fish processing, and subsequently also for European settlers. In the 1840s, the river was dammed to provide reliable waterpower to a burgeoning mill complex located on the river flats, which powered the early economy in grain and timber processing.

##### **Indigenous Relationships to the Land:**

This geographical area has been both populated and traversed by Indigenous peoples for millennia. Past and ongoing Indigenous relationships to this land are known through oral histories and practices that are encapsulated in recorded history and contemporary studies. The Indigenous lands within which Bayfield is now located were associated with north-south travel routes that followed the eastern shore of Lake Huron. Formally colonized by the British in 1825-1827, the Huron Tract lands of Treaty #29, include 2.2 million acres (now identified by the regional counties of Huron, Perth, Middlesex, and Lambton).

##### **19th to 21st Century Historical Context:**

Bayfield's early settlers and industrial base relied heavily on the connectivity provided by the river and harbour to establish trade connections with other communities along the eastern shore of Lake Huron. The damming of the Bayfield River for reliable waterpower and the favourable harbour location at the mouth of the river influenced the nature and form of the initial settlement. This process began with the 1835 survey of the "Town of Bayfield" that established a central town square (Clan Gregor Square) and a pattern of radial streets, the most prominent of which

being Bayfield Main Street North, which grew to become the commercial core of the village. The settlement of the village began in the 1830s and accelerated throughout the following decades.

Continued agricultural and timber trade along the eastern coast of Lake Huron, combined with the establishment of Goderich Road and London Road, enhanced the importance of overland connectivity with regional communities and drove settlement farther inland. The last decades of the 19th century witnessed considerable development along Bayfield Main Street North, with the historical northern gateways to Bayfield at Goderich and Mill Roads augmented by an increasingly utilized southern entrance to the community along Bayfield Main Street South and through Clan Gregor Square. This improved connectivity also encouraged the growth of commercial and sport fishing, which contributed to the economic development of Bayfield through resulting trade and tourism. It was this period of growth and development that produced much of the built form that now characterizes the Heritage Conservation District.

In 1851, the Brantford and Buffalo railway bypassed Bayfield, marking an apparent setback to the local economy. However, the lack of direct rail connectivity also helped to shape the identity of the village as an elusive getaway for seasonal residents and vacationers seeking refuge from larger towns and cities. This isolation benefited Bayfield's burgeoning tourism industry, and the Village's continued growth and development during this period was driven, in part, by this seasonal ebb and flow of itinerant residents.

Population growth during the middle decades of the 20th century was spurred by the construction of Highway 21 in the 1930s, which brought reliable connectivity to Bayfield in all but the most extreme winter storms. The highway provided convenient access to the port towns along Lake Huron from the Highway 401 corridor to the south. The highway also reinforced regional connections, leading to the continued expansion of commercial services along Bayfield Main Street North.

Mid-century efforts directed at community organizing and preservation, which resulted in the creation of Pioneer Park, were subsequently reflected in the 1980s by a push to preserve the heritage attributes located at the core of the village. The Village of Bayfield (now part of the Municipality of Bluewater) became one of the first communities in Ontario to establish a Heritage Conservation District Plan (1982). At the time, the Plan intended to enshrine the eclectic nature of development within the village, noting that Bayfield was at once "charming, rambling and elusive."





Fig.4: 14 Bayfield Main Street North (constructed 1854). Photographed circa 1948. (Photo courtesy of Bayfield Historical Society)



Fig.5: Bayfield Harbour (c. 1900-1909). (Photo courtesy of Bayfield Historical Society)



Fig.6: Clan Gregor Square (c. 1902). (Photo courtesy of Bayfield Historical Society)



Fig.7: Historic Bayfield Main Street North, showing the established treescape. (Photo courtesy of Bayfield Historical Society)



Fig.8: The New Bridge across Bayfield River (Photographed c. 1950s). (Photo courtesy of Bayfield Historical Society)



Fig.9: Thomson's Mill on the Bayfield River Flats (c. 1907). (Photo courtesy of Bayfield Historical Society)





Fig.10: 8 Bayfield Main Street North (constructed 1860).  
(Photo courtesy of Bayfield Historical Society)



Fig.13: 12 Bayfield Main Street North.  
(Photo courtesy of Bayfield Historical Society)



Fig.11: 7 The Square.  
(Photo courtesy of Bayfield Historical Society)



Fig.12: 10 The Square.  
(Photo courtesy of Bayfield Historical Society)



Fig.14: 21 Bayfield Main Street North (Variety Store).  
(Photo courtesy of Bayfield Historical Society)



Fig.15: Red Pump and Village Guild (constructed 1970s).  
(Photo courtesy of Bayfield Historical Society)



Fig.16: 21 Bayfield Main Street North (Red Pump Shop).  
(Photo courtesy of Bayfield Historical Society)

## 3.2 Statement of Objectives of the HCD

The principal objectives of the present Heritage Conservation District Plan are to conserve and enhance the heritage attributes found within the District's boundaries and its distinct sub-areas, which together form the geographic and cultural core of the Village of Bayfield. The individual objectives stated below revise and expand upon those found in the first HCD Plan for Bayfield (1982), and encompass the District's historic, physical, and social values and include considerations of its built form, streetscape, and landscape features. Overall, the following objectives are intended to help direct and manage change within the District's boundaries.

The Objectives of this Heritage Conservation District Plan are to:

- Conserve cultural heritage values and attributes within a cohesive, well-defined District and its individual sub-areas;
- Conserve and restore original architectural detailing on significant buildings, and ensure a compatibility of new materials;
- Conserve and enhance the District's identified views and gateways;
- Conserve, support, and enhance the extensive treescapes found within the District by encouraging and maintaining generous intervening spaces and buffers between adjacent structures;
- Ensure that additions, alterations and new structures to contributing and non-contributing properties maintain and support the overall heritage attributes of the District;
- Ensure that properties designated under Part IV of the Ontario Heritage Act are conserved and that their identified heritage attributes remain intact;
- Encourage the preservation of heritage resources and the growth of the local economy through encouraging the adaptive reuse of heritage resources when possible;
- Maintain the commercial core area of the Village as a human-scale built form that supports and enhances a pedestrian main street experience; and,
- Preserve, enhance, and develop the historical and associative value of the District by fostering community recognition and awareness of the value and historical significance of the District to the community.

### 3.3 Statement of Cultural Heritage Value

The Bayfield Heritage Conservation District has value as the civic and commercial core of the Village of Bayfield and exudes the overarching park-like setting of the Village. The HCD boundary encapsulates an axis of historical development that stretches from Pioneer Park and Bayfield Terrace in the north to Clan Gregor Square in the south, and it contains examples of both natural and built features representative of the growth and development of Bayfield as first a port town and then as a destination for itinerant residents and tourists.

Located adjacent to Highway 21, the southern end of the HCD functions as a point of arrival, with the formal arrangement of Clan Gregor Square providing a civic processional gateway to the core of the village. At its northwestern corner, the formality of The Square transitions into the eclectic commercial public realm of Main Street North, whose structures represent the sustained growth and development of the village throughout the late 19th and early 20th centuries. Northwest of Main Street North, the residential structures along Colina Street and Bayfield Terrace abut the expanse of Pioneer Park, which was the original village settlement above the bluffs of Lake Huron.

Overall, the HCD's pattern of radial streets and axial layout spanning between Clan Gregor Square and Pioneer Park Meadows adhere to the original 1835 survey of Bayfield, offering a contemporary representation of the historical development of the Village from the river mouth in the north to the overland connections with nearby communities in the south.

The park-like quality of the District, with structures set within a landscaped setting, including relaxed front and sideyard setbacks and minimal visual impact of parking and driveways in the public realm, is the overarching characteristic that permeates throughout the District and the Village as a whole.

#### **Clan Gregor Square:**

The Clan Gregor Square sub-area comprises properties that directly front The Square. The built form composition consists of a mix of purpose-built civic, religious, and residential structures that—through a common orientation to The Square—create a sense of formality and cohesion.

The historical and associative values of this sub-area emerge from its embodied representation of the historical development of Bayfield, first as a prosperous agricultural and timber trade hub on the eastern shore of Lake Huron, then as a destination for seasonal residents and tourists. The area contains many of the landmark civic and religious structures that were built to accommodate the attendant growth of population and need for buildings to function as important social gathering spaces and civic institutions.

Although there is a mix (both historical and recent) of residential, religious, commercial, and civic structures, the design value of this sub-area is found in the common orientation of these structures to The Square. Structures are setback from front and side property lines with an eclectic mix of manicured lawns, vegetative screens and gardens, and landscaped walkways. Driveways are either not visible or lead to the rear of properties. Civic and religious structures on The Square's perimeter are intermixed with prominent house-form buildings that function as both residential and commercial structures through adaptive reuse. The formality of the area is



enhanced by the central park-like space of Clan Gregor Square and an extensive treescape both within and surrounding The Square.

Contextually, the central location of this sub-area within the Village represents a historic and contemporary gateway to Bayfield Main Street North. The Square and the streets that radiate from its north, west, and south sides are vestiges of the original survey of Bayfield and attained prominence with the strengthening of the overland connections to nearby settlements.

#### **Main Street North:**

The Main Street North sub-area comprises the mixed-use and commercial core of Bayfield. Its boundary contains those properties that front Bayfield Main Street North on the east and west sides. It extends from The Square in the south to beyond Catherine Street in the north where it abuts mid-block the Pioneer Park Meadows sub-area.

The area's built form embodies its historical and associative value by representing the prosperity that Bayfield experienced as a key agricultural and timber trade hub in the latter half of the 19th century. Many of the structures that remain from this period were originally constructed to provide services and accommodation to traders and other commercial passersby.

The design value of the area emerges from its eclectic mix of structures that form a transition between the more civic processional and formal nature of Clan Gregor Square and the residential house-form structures north of Catherine Street and south of Colina Street.

Stylistically, the structures in the Main Street North sub-area call on architectural language spanning the course of the second half of the 19th century. This diversity of built form allows for individual business identities to emerge while creating a dynamic commercial thoroughfare for the Village. Cohesion along Main Street North is achieved by consistent setbacks, ample side lots, and a mature tree canopy. The park-like quality of the Main Street boulevard is also supported through maximizing soft-landscaping and minimizing paved asphalt.

#### **Pioneer Park Meadows:**

The Pioneer Park Meadows sub-area extends northward from mid-block between Catherine Street and Colina Street to encompass residential properties situated on the east and west sides of Bayfield Main Street and the residential house-form structure located at 34 Bayfield Terrace, known locally as Century House.

The design value of this area emerges from its residential house-form structures that constitute a transition of use and architectural styling between the commercial functions of Bayfield Main Street North and the primarily residential uses along Colina Street and Bayfield Terrace. Modest structures on large lots with an extensive mature tree canopy characterize the built form typology of this area.

Contextually, the area functions as a transitional zone along Main Street North between the commercial public realm and surrounding residential areas, terminating at Pioneer Park, which comprises an open space terminus to the District overlooking the bluffs of Lake Huron.

### **Fulfilling the Criteria of O. Reg. 9/06:**

The OHA requires that the Bayfield HCD conform to the requirements set out in O. Reg. 9/06, which states that at least 25% of the properties within the District boundary must meet at least two of nine criteria for determining cultural heritage value or interest (see Introduction). This Plan has determined that 27 of the 47 properties within the District boundary contribute significantly to defining and maintaining the identified cultural heritage values of the District and sub-areas, and through these contributions meet two or more of the nine criteria set out in O. Reg. 9/06. These 27 properties constitute 57% of all properties within the District, therefore exceeding the 25% threshold required under the OHA and O. Reg. 9/06 to establish an HCD. For an explanation of how properties were identified as Contributing or Non-Contributing, see Section 3.6.





Fig.17: Example of the Georgian Commercial style (1 Bayfield Main North).



Fig.18: Example of the Carpenter Gothic style (11 The Square).



Fig.19: Example of the Contemporary Cottage style infill building (18 Bayfield Main North).





Fig.20: Example of the Italianate style (13 The Square).



Fig.21: Example of the Ecclesiastical style (2 Bayfield Main North).



Fig.22: Example of the Ontario Cottage style (12 The Square).

### 3.4 Description of Heritage Attributes of the HCD

The following heritage attributes express the cultural heritage value of the Bayfield Heritage Conservation District:

- The location and interrelationship of the Clan Gregor Square, Main Street North, and Pioneer Park Meadows sub-areas, which together comprise a transect of the Village of Bayfield—at the northern end reflecting its origin as a port town and at the southern end comprising an historic overland gateway to and from the village;
- The distribution of land uses reflecting historic patterns of development, including the primarily civic and institutional functions in the Clan Gregor Square sub-area, the primarily commercial functions in the Main Street North sub-area, and the primarily residential functions of the Pioneer Park Meadows sub-area;
- The diversity of built form typologies and architectural styles within the HCD boundary that represents a sustained period of village growth and development spanning from the late 19th century to the early 20th century. Representative examples of architectural styles include, but are not limited to, Italianate residential, Georgian commercial, ecclesiastical; Gothic; Regency; Arts and Crafts; and Ontario- and contemporary Cottage-style structures;
- The remnant street layout as originally established on the 1835 survey of the “Town of Bayfield”, which includes the Main Street North northwest-southeast axis bookended by Pioneer Park Meadows in the north and Clan Gregor Square in the south, as well as the pattern of radial streets originating from The Square on the north, west, and south sides; and,
- The contiguous park-like quality of the District that is the product of a combination of generous lot setbacks, naturalized and formal landscaping, an extensive tree canopy, and a generous public realm, and which is the overarching characteristic that permeates throughout the District.

#### Clan Gregor Square:

- The Clan Gregor Square sub-area which constitutes a gateway to the southern edge of the village core, and which functions as a buffer between Highway 21 and the low-rise, secluded nature of the commercial and residential functions of the Main Street North and the Pioneer Park Meadows sub-areas;
- The purpose-built civic, religious, and residential structures within the Clan Gregor Square sub-area, which represent the historic civic and community functions of the village and have a common orientation to Clan Gregor Square and generous front and side setbacks; and,
- Clan Gregor Square as a public park and open space, featuring a mature tree canopy, and providing a viewshed of Bayfield Main Street North from the northeast corner of Clan Gregor Square, and a viewshed of Bayfield Town Hall from the north side of Clan Gregor Square.

**Main Street North:**

- The Main Street North sub-area, which constitutes the commercial core and principal public realm of the village, and which is representative of the historical development of the village as a trading port and subsequently as a destination for seasonal residents and vacationers;
- The primarily low-rise nature of the structures in the Main Street North sub-area representing the growth and development of the Village of Bayfield throughout the second half of the 19th century, and which generally share consistent and generous front setbacks punctuated by open spaces for gathering, modest built form massing, front onto wide sidewalks, and are set amongst an extensive and mature tree canopy;
- The eclectic mix of architectural elements within the Main Street North sub-area, including full-width covered porches with decorative woodwork, the extensive presence of gable ends, gable roofs, and dormers, and the presence of original divided-light wood windows; and,
- The mature tree canopy of the Main Street North sub-area to the rear of the properties along both sides of Bayfield Main Street North, as well as the presence of several mature specimen trees along the street itself, which together frame a viewshed southward from Catherine Street to Clan Gregor Square, and a viewshed northward from The Square to Colina Street.

**Pioneer Park Meadows:**

- The Pioneer Park Meadows sub-area, which abuts the site of the first structures in Bayfield and which represents the historic and contemporary northern gateway to Main Street North;
- The residential nature of the Pioneer Park Meadows sub-area consisting of the presence of modest house-form structures sited on large lots with an extensive and mature tree canopy; and,
- The viewsheds westward toward Pioneer Park from Bayfield Main Street North at Colina Street and Bayfield Terrace, as well as the expansive view of Lake Huron from Pioneer Park.



### 3.5 District Boundary

The Bayfield HCD boundary contains resources that express the cultural heritage value and identified heritage attributes of the Bayfield HCD. The process of delineating the HCD boundary was informed by historical research undertaken as part of a Heritage Analysis Report, community consultation, and the identification of contributing properties and distinct sub-areas within the District. It was also informed by guidelines contained in the Ontario Heritage Toolkit (2006/2021) for establishing Heritage Conservation Districts, which recommends that the following tangible and intangible features be considered when determining an HCD boundary:

- Historical factors such as the boundary of an original settlement or an early planned community and concentrations of early buildings;
- Visual factors determined by an architectural survey or a detailed analysis of the visual character or topography of an area;
- Physical features such as human-made transportation corridors, major open spaces, natural features, existing boundaries, gateways, entrances, and vistas to and from a potential district; and,
- Legal or planning factors which include less visible elements such as municipal boundaries, property or lot lines, land use designations in Official Plans or boundaries for particular uses or densities in the zoning bylaw.

This process of analysis and boundary delineation resulted in a District that extends from Pioneer Park and Bayfield Terrace in the northwest to Clan Gregor Square in the southeast, and includes properties bounded by Bayfield Terrace, Colina Street, Bayfield Main Street North, and Pioneer Park; properties fronting Bayfield Main Street North; and properties located on The Square.

To achieve an architecturally and historically cohesive District, this selection process was necessarily exclusive of some heritage resources within the larger study area. For example, although streets adjacent to the HCD boundary do contain residential structures representative of the early growth and expansion of Bayfield, they are not found in the same quantity or coherence of architectural style as within the HCD boundary itself.

The District includes:

- Those properties with house-form structures located at the northern end of Bayfield Main Street North as well as the property located at 34 Bayfield Terrace and known locally as “Century House”;
- The mixed-use properties on Bayfield Main Street North comprising the commercial core and principal public realm of the Village, and which represent the historical development of Bayfield’s trade and tourism economies;
- Those properties used for civic, commercial, ecclesiastical, and residential purposes fronting The Square, and which represent the expansion of civic institutions to accommodate the growing Village; and,
- Pioneer Park Meadows and Clan Gregor Square.

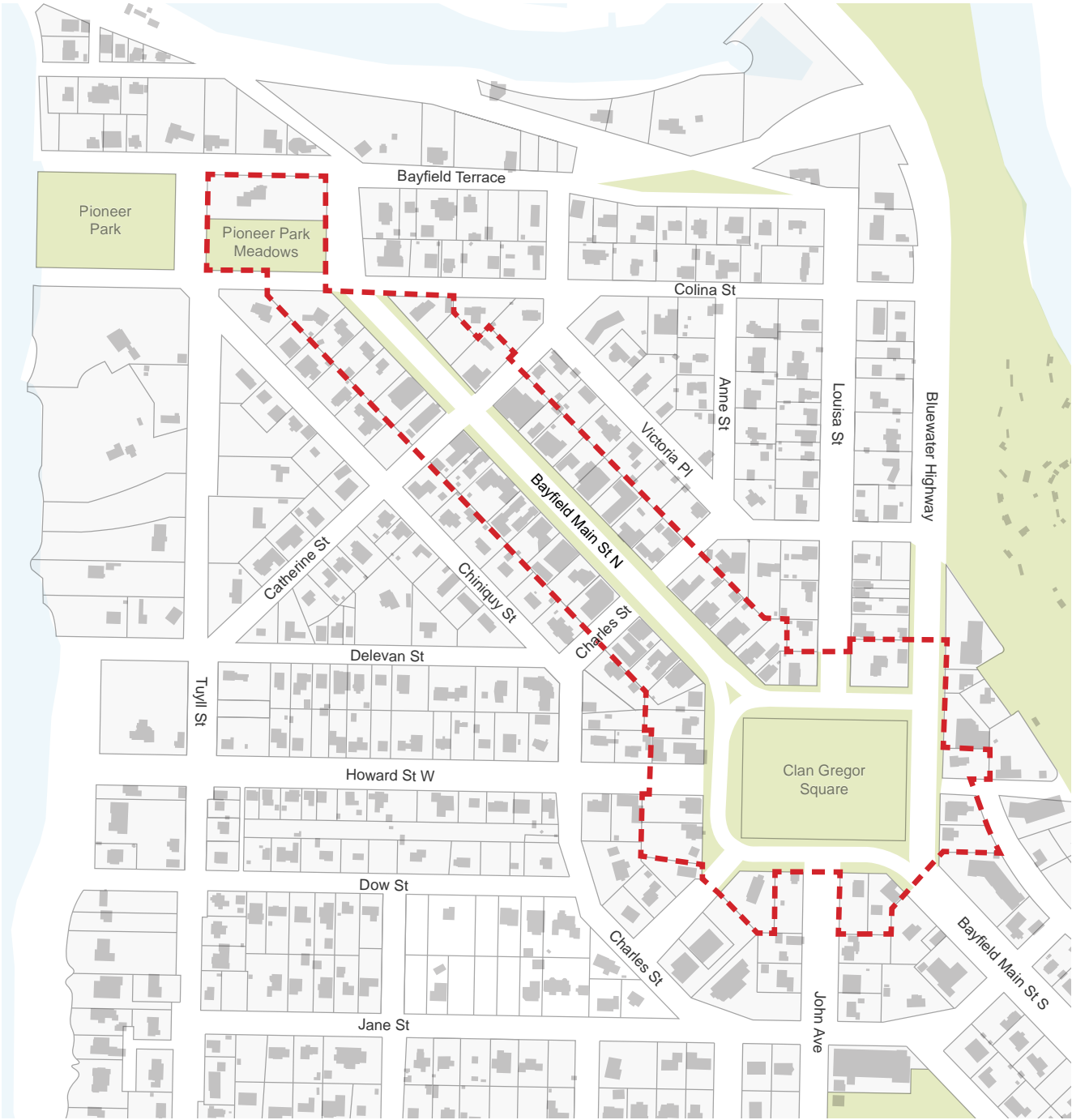


Fig.23: The Updated HCD Boundary

 Updated HCD Boundary



### 3.6 Identification of Contributing and Non-contributing Properties

Each property within the HCD Boundary was assessed against the attributes of the district identified as part of the Study Phase.

Contributing Properties directly support the statement of Cultural Heritage Value and Heritage Attributes of the HCD. Because of their significant contributions to defining and supporting the character of the HCD, Contributing properties have been identified as meeting at least two of the nine criteria for determining cultural heritage value or interest contained in O. Reg. 9/06.

As they play an integral role in defining the character of the HCD, these properties must be conserved and original exterior materials should be protected from loss. Consequently, the recommendations prioritize maintaining, conserving, and restoring existing structures and their distinctive architectural façade elements.

Non-Contributing Properties are those properties that—for architectural, contextual, or historical reasons—do not meet the threshold to be considered contributing properties. These may include properties that have been significantly altered from their original condition or those that are contemporary infill structures that do not relate to the historic or architectural character of the HCD. Despite not achieving the threshold of contributing status, these properties may yet meet one or more of the nine criteria for determining cultural heritage value or interest contained in O. Reg. 9/06.

However, several historic and contemporary properties within the HCD boundary do possess qualities that support the overall character of the HCD in a limited capacity. Such properties are classified as Non-Contributing, but Character Supporting to recognize their auxiliary importance to establishing and maintaining the character of the HCD.

Both contributing and non-contributing (as well as non-contributing, but character supporting) properties will be designated as part of the HCD under Part V of the Ontario Heritage Act. All Part V designated properties are protected from demolition without a heritage permit and are subject to the guidelines set out in Section 4. However, specific guidelines and permitting requirements vary depending upon how a property is categorized. For a detailed breakdown of permitting requirements see Section 5.2.

Public and Civic Realm elements comprise buildings, streetscapes, and landscapes owned by the Municipality of Bluewater, including the boulevards along both Bayfield Main Street North, the Huron County Library, Bayfield Town Hall, and the public park – Clan Gregor Square, thereby completing Bayfield’s Public and Civic Realm. Guidelines ensure new developments maintain appealing and functional pedestrian spaces and connections.

Refer to Appendix A for a list of properties with Statement of Contribution within the HCD Boundary.



Fig.24: The Updated HCD Boundary showing contributing and non-contributing (including character supporting) properties in the HCD

- Contributing properties
- Non-Contributing properties
- Non-Contributing properties but character supporting
- Updated HCD Boundary

Table 1: Property Status in the Updated HCD Boundary

Municipal Address	Status	Municipal Address	Status
5 The Square	Contributing	17 Bayfield Main Street North	Non-Contributing, but character supporting
6 The Square	Contributing	18 Bayfield Main Street North	Non-Contributing, but character supporting
7 The Square	Contributing	19 Bayfield Main Street North	Contributing
8 The Square	Contributing	20 Bayfield Main Street North	Contributing
9 The Square	Non-Contributing, but character supporting	21 Bayfield Main Street North	Non-Contributing, but character supporting
11 The Square	Contributing	22 Bayfield Main Street North	Non-Contributing, but character supporting
12 The Square	Contributing	23 Bayfield Main Street North	Non-Contributing, but character supporting
13 The Square	Contributing	24 Bayfield Main Street North	Contributing
14 The Square	Non-Contributing	25 Bayfield Main Street North	Contributing
15 The Square	Non-Contributing	26 Bayfield Main Street North	Contributing
16 The Square	Non-Contributing, but character supporting	27 Bayfield Main Street North	Non-Contributing, but character supporting
17 The Square	Contributing	28 Bayfield Main Street North	Contributing
19 The Square	Contributing	29 Bayfield Main Street North	Non-Contributing, but character supporting
1 Bayfield Main Street North	Contributing	30 Bayfield Main Street North	Non-Contributing (vacant lot)
2 Bayfield Main Street North	Contributing	31 Bayfield Main Street North	Non-Contributing
4 Bayfield Main Street North	Contributing	32 Bayfield Main Street North	Contributing
5 Bayfield Main Street North	Contributing	33 Bayfield Main Street North	Non-Contributing, but character supporting
6 Bayfield Main Street North	Contributing	35 Bayfield Main Street North	Contributing
8 Bayfield Main Street North	Contributing	37 Bayfield Main Street North	Non-Contributing, but character supporting
9 Bayfield Main Street North	Non-Contributing, but character supporting	34 Bayfield Terrace	Contributing
10 Bayfield Main Street North	Contributing	Pioneer Park (Meadows) - 51 Colina Street	Contributing
11 Bayfield Main Street North	Non-Contributing	Clan Gregor Square	Contributing
12 Bayfield Main Street North	Contributing		
13 Bayfield Main Street North	Non-Contributing, but character supporting		
14 Bayfield Main Street North	Contributing		
15 Bayfield Main Street North	Non-Contributing, but character supporting		
16 Bayfield Main Street North	Non-Contributing, but character supporting		

## 4. DISTRICT-WIDE GUIDELINES

### 4.1 Purpose

Guidelines reflect the HCD Plan's objectives and cultural heritage value to maintain and enhance the character of the HCD boundary and sub-areas as outlined in Section 3.2 and Section 3.3. Guidelines clearly explain what changes and alterations are appropriate and likely to be approved in an HCD. Guidelines are not meant to stifle investment, but rather to ensure that as the community continues to grow and evolve, its historic character is conserved and enhanced.

The provision of guidelines in this Plan allows the Municipality and Council to take approaches to heritage alteration permits and decisions in the HCD. The Municipality of Bluewater is committed to facilitating the approval of heritage permit applications or prompting property owners to adjust their applications to align with these guidelines. Recognizing the importance of supporting property owners, the guidelines also emphasize cost-effective solutions to reduce financial burdens while maintaining heritage values. This approach aims to balance preservation with practical affordability.

Where an application does not meet the intent of the guidelines, the potential exists that the application may be refused by Council on the advice of the Heritage Advisory Committee and/or Municipal Staff. In certain instances, permits may be approved with appropriate conditions that satisfy the intent of the District Plan and Guidelines. The guidelines are designed to support sustainable investment in heritage properties, ensuring that conservation efforts are both financially manageable and aligned with the district's historic character.

## 4.2 Definition

The following comprises a list of some of the more commonly used terms and definitions in this District Plan. Sources are sometimes indicated to show where the term has been derived.

**Adjacent lands** mean those lands contiguous to or in the immediate vicinity of a protected heritage property or Heritage Conservation District (Bluewater Official Plan).

**Alter** means to change in any manner and includes to restore, renovate, repair or disturb (Ontario Heritage Act).

- **Minor Alteration** is a change to a property that does not significantly impact its heritage attributes and is often not visible from the street.
- **Major Alteration** is a more substantial change that significantly affects the property's heritage attributes. Refer to Table 3 for a detailed comparison of Minor and Major Alterations.

**Character** means the collective qualities and characteristics that distinguish a particular area or neighbourhood.

**Compatible** means development or redevelopment which may not necessarily be the same as, or similar to, the existing development, but can co-exist with the surrounding area without unacceptable adverse impact.

**Conservation** means all actions or processes that are aimed at safeguarding the character defining elements of a cultural (heritage) resource so as to retain its heritage value and extend its physical life. This may involve "Preservation," "Rehabilitation," "Restoration," or a combination of these actions or processes (Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada).

**Cultural Heritage Landscape** means groups of features made by people. The arrangement of features illustrates noteworthy relationships between people and their surrounding environment. They can provide the contextual and spatial information necessary to preserve, interpret or reinforce the understanding of important historical settings and changes to past patterns of land use. Cultural heritage landscapes include such groups of features as neighbourhoods, townscapes and farmscapes. Cultural heritage resources include buildings, structures and properties designated or listed under the Ontario Heritage Act, significant built heritage resources, and significant cultural heritage landscapes as defined and interpreted by the applicable (Provincial Policy Statement).

**Cultural Heritage Resources** are built or natural features which are determined to have cultural heritage value under the Ontario Heritage Act. Heritage Resources include but are not limited to buildings, structures and districts of historical significance, archaeological sites, and significant natural, cultural and human-made landscapes.

**Designated Property** means property designated under Part IV and/or Part V of the Ontario Heritage Act.

**Enhance** means to heighten the character of a building and its surroundings, in ways relating to the heritage attributes of the property as well as of the sub-area in which it is located.

**Heritage attributes** means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest. (Ontario Heritage Act).

**Heritage Fabric** means all those historical physical building, landscaping, and construction materials of the heritage property.

**Heritage Impact Assessment** uses text and graphic material including plans, drawings, photographs to combine the results of historical research, field work, survey, analysis, and descriptions(s) of cultural heritage resources together with a description of the process and procedures in delivering potential effects and mitigation measures as required by official plan policies and any other applicable guidelines. A heritage impact assessment must be prepared by a member of Canadian Association of Heritage Professionals (CAHP).

**Maintenance** includes routine, cyclical, nondestructive actions necessary to slow the deterioration of an historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save (Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada).

**Preservation** means protecting, maintaining and stabilizing the existing form, material and integrity of a historic place, or of an individual component, while protecting its heritage value. (Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada)

**Protected Heritage Property** means real property designated under Parts IV, V, or VI of the Ontario Heritage Act; heritage conservation easement property under Parts II or IV of the Ontario Heritage Act; and property that is the subject of a covenant or agreement between the owner of the property and a conservation body or level of government, registered on title and executed with primary purpose of preserving, conserving and maintaining a cultural heritage feature or resource, or preventing its destruction, demolition or loss.

**Public Realm** includes any street, sidewalk, laneway, park, or other public space inside or outside of the District boundary.

**Restoration** means revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, as accurately as possible, while protecting its heritage value (Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada).

## 4.3 General Building Design: Alterations

### Roof Assemblies

Roof assemblies include visible elements, such as turrets, chimneys, gutters, weather-vanes, gables, eaves, parapets, dormers, soffits and fascias. As the most exposed architectural assembly, the roof plays an important architectural feature in defining a building's form and aesthetics.

In the District, roofs predominantly feature gabled and hipped designs, with asphalt being the predominant roofing material. Approximately 79% of properties have asphalt roofs, while a smaller proportion, around 9%, have metal roofs, often added later to historic structures. Originally, cedar was likely the primary roofing material, and while cedar roofs can still be found within the District, they are much less prevalent.

- The design, form and rooflines of contributing buildings shall be maintained, including functional (i.e. slope, dormers, chimneys, etc.) as well as architectural elements (i.e. cornice, eaves, gables, and trim).
- Preserve the original shape and pitch of the roof for existing buildings when repairs are necessary.
- When roofing is extensively deteriorated or missing, replacement products should carefully match the design, style and characteristics of the original materials. If replicating the original materials and design details is not technically or economically feasible, compatible cost-effective materials or details may be considered. For new materials:
  - The use of premium quality asphalt shingles is recommended for maximum life expectancy (30 years) and to mimic the texture of the original cedar shingles.
  - Select profiles and colours that are compatible with other heritage buildings in the District. Avoid bright colours for asphalt shingles on heritage buildings. Gray and brown best replicate the style of the original cedar roofing without drawing undue attention to the roof.
  - Opt for plain or solid coloured shingles over textured or 'architectural' shingles to maintain the original design and character of the heritage structure.
  - Non-traditional materials like aluminium or PVC soffits and fascia can be considered only if they are not easily visible from the street.
- Skylights, solar panels, or solar hot water heaters may be allowed on roofs, provided they shall not damage or remove heritage features and are positioned in areas not visible from public realm.
- Eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.
- The form, materials and colours of eavestroughs and downspouts shall not distract or detract from the architectural style of the building.
- Flashing should be coloured to match the wall against which it is located.





Fig.25: Examples of roof types in the HCD.



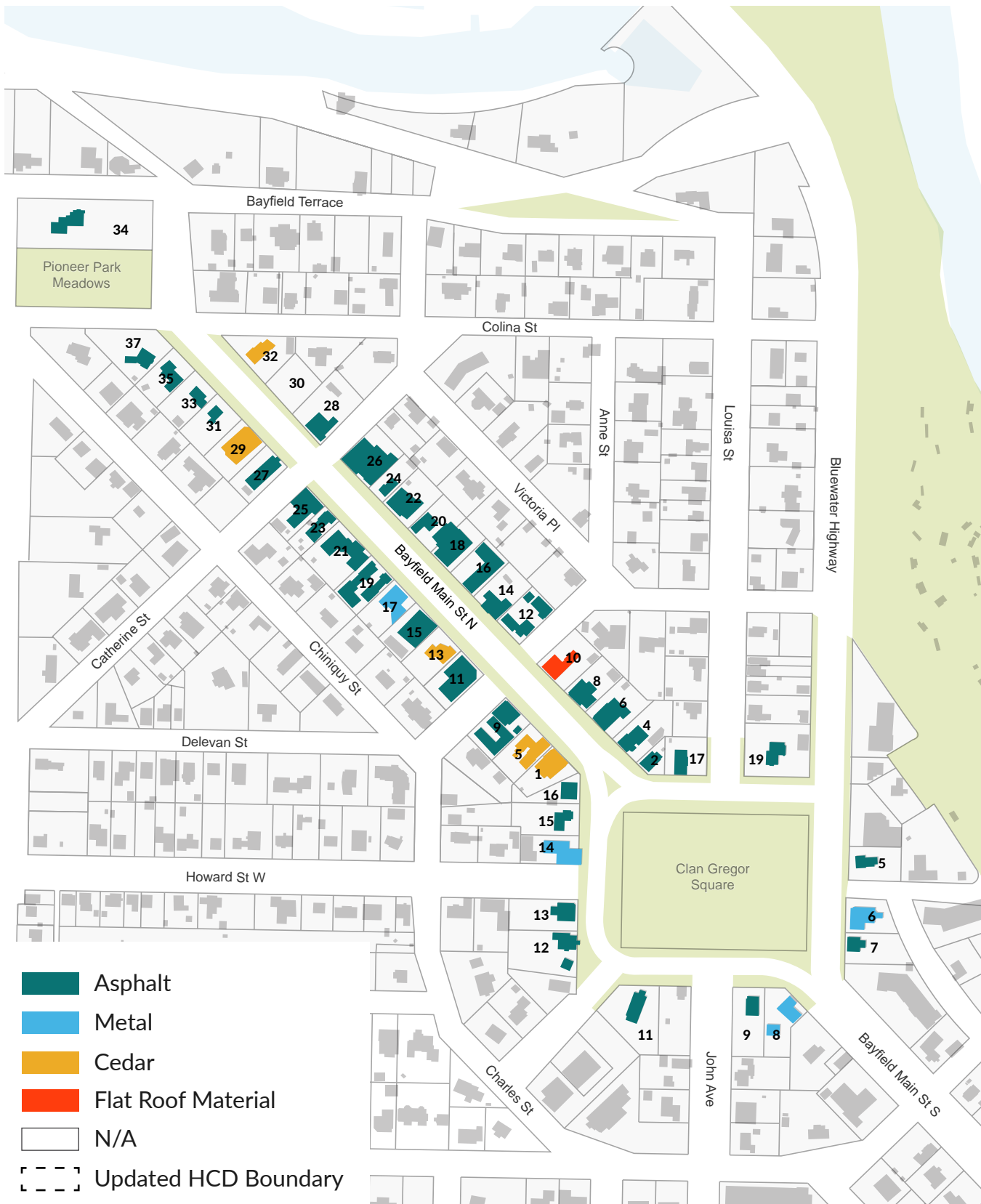


Fig.26: Map of roof materials within the HCD Boundary

## Exterior Walls

Exterior walls often contribute to the heritage value of buildings through their form, use of materials and detailing such as brick masonry, clapboard and stone. Preservation of original materials, including primary cladding, architectural details, and ground floor retail facades, is crucial. Efforts should be made to maintain these materials in good condition for long-term functionality.

- When original materials cannot be retained due to structural integrity, use compatible substitute materials or cost-effective materials that match the original style and quality.
- Vinyl siding and aluminum siding are discouraged as replacement cladding materials. If vinyl or aluminum siding are used, they shall not obscure, cover or alter existing trim or other historic architectural features. Where possible, efforts should be made to retain wooden cladding on the principal facades of the building and to limit the use of vinyl or aluminum siding to those facades less exposed to public view.
- Synthetic bricks are discouraged as a replacement cladding material. If used, brick replacement units should match, as closely as possible, the traditional colours, size and texture. Typical brick size used in the district is of a smaller variety consistent with Ontario Size Brick (8 ½" long x 2 ½" high). New brick used in the district should be consistent with the historic precedents.
- Painting previously unpainted masonry is not permitted to maintain the integrity and authenticity of the building's historical features.
- Signs of degradation or disrepair shall be addressed immediately to prevent further deterioration, using original materials where feasible.
- Aesthetic modifications to retail facades, such as signage and branding, should align with the existing facade without altering its fundamental appearance.
- Consideration should be given to enhancing barrier-free access during major repair work. A member of Canadian Association of Heritage Professionals (CAHP) shall be consulted to ensure such modifications preserve and enhance the building's historic character.
- For comprehensive repair/restoration projects, historic photography should be utilised to identify original architectural and decorative features that may have been lost over time, especially in retail facades. Consultation with a licensed heritage architect is advised before commencing any work.
- Original wall surfaces should be protected from cleaning methods that may permanently alter their appearance. Sandblasting, strong chemical solutions, and high-pressure water blasting are prohibited.



Fig.27: When painting over bricks moisture can be trapped in the wall, causing damage.

## Windows

Large expanses of glass shall be avoided. Glass was originally available only in smaller sizes, and large windows would be subdivided into smaller lights (or sections). Any alterations shall follow this original patterning.

- Repair of original window materials and features such as window frames, mullions, transoms, shutters and surrounds (trim) is encouraged prior to replacement.
- If using the original materials and design details is not technically or economically feasible, then compatible cost effective materials or details may be considered.
- Maintain the configuration and proportions of window openings, including size, shape, and placement, to preserve the building's original appearance. Removal of mutins or covering of trim with metal or other material is discouraged.
- Consider energy-efficient glazing options while preserving the historic integrity of storefront windows.
- Ensure windows are visually prominent and contribute to the overall character of the building facade.
- Non-traditional materials such as vinyl and aluminium, in historical configurations and profiles that provide the appearance of traditional materials may be used in the following cases:
  - where the products and their appearance are not detrimental to the historic character of the original heritage building;
  - where the addition is not readily visible from the public realm (i.e., located in the rear yard or a distance from the public streetscape).



Fig.29: Example of how detailed (wood) trim around a vinyl window design serves as a good example of using non-traditional materials that complement the character of the building effectively.



Fig.28: Examples of window modulation (top) and storefront design (bottom) of Bayfield Main Street buildings.



### Transom Windows

Transom windows are the horizontal windows that span the storefront above its display windows, provide ventilation and allow additional light into a building's interior. Transom windows in the District are predominantly rectangular or arch-shaped transom windows.

- Preserve existing transom windows, especially the arch-shaped transom windows on commercial storefronts along Bayfield Main Street North, as they contribute to the historic character and architectural significance of the area.
- Repairing, rather than replacing original transom windows is encouraged.
- When replacement of transom windows is necessary, repair or restore damaged transom windows using original materials and techniques to maintain authenticity and integrity.
- If using original materials and design details is not technically or economically feasible, compatible, cost-effective materials or details may be considered, provided they closely match the original design, size, and shape.



Fig.30: Example of notable design as seen in some of the buildings along Main Street are display windows with arched-shaped transoms.



## Entrances

Commercial doors reflect their commercial importance through their proportions and materials.

- Preserve and maintain entrances located on principal elevations as they play a key role in defining the character of a building. Maintain recessed entrances where present. Ensure the conservation of significant features including doors, glazing, lighting, steps and door surrounds.
- If better overall fit is desired, the use of a refurbished older door, salvaged from a similar building, should be considered.
- Entrance ramps may be permitted for barrier-free access in accordance with applicable legislation but shall not be physically attached to avoid damage to the heritage building fabric. In exceptional circumstances, attachments may be permitted where they cause the least amount of damage to heritage building fabric. This allowance is contingent upon meeting OBC requirements.

## Storefront Pilasters

- Preserve and restore original storefront pilasters or columns where present, maintaining their proportions, profiles, and decorative elements.
- Repair or replace deteriorated pilasters with original or compatible, cost-effective materials that match the historic design.
- Ensure storefront pilasters contribute to the overall rhythm and composition of the building facade.
- Avoid altering or removing original pilasters that contribute to the architectural character of storefronts.



Fig.31: Example of entrance ramp attached with the least amount of damage to the building and aesthetically complementing the building (10 Bayfield Main Street North).

### Porches and Porticoes

The numerous porches and porticoes in the District are essential elements contributing to both the aesthetic appeal and functionality of buildings. They serve as defining features of the streetscape, adding to its unique charm, while also providing social gathering spaces and shelter over entrances. Additionally, these architectural features play a practical role in retaining heat, blocking sunlight, and promoting natural ventilation.

- Protect and maintain historic porches and porticos and their features, including posts, brackets, railings, steps and roofs. Where rebuilt they shall replicate the original. When new they shall complement the historic qualities of the building and be appropriate in style and detail.
- Signs of degradation or disrepair should be addressed immediately to reduce further deterioration. Damaged areas shall be repaired using original materials where possible.
- The addition of porches, porticoes, verandas and balconies to street facing facades is discouraged where they were not historically part of the dwelling.
- Where original materials cannot be maintained or restored (i.e. due to structural integrity) compatible, cost-effective materials or details may be considered, provided they closely match the original style and quality.
- Ensure that the new or repaired porch is properly underpinned with footings extending below frost and with forms of skirting that promote good ventilation and prevent animal intrusion.
- Avoid fiberglass or plastic replicas of wooden details unless there are no other reasonable options, provided they shall match the shape and size of the details they are replacing.
- Where larger repair/restoration efforts are considered, historical photography (where available) shall be utilized to identify and replace original architectural/decorative features of a porch that may have been removed over time.



Fig.32: Example of Main Street building with covered porches on both levels, running the width of the facade, with a decorative white railing (The Albion Hotel, Bayfield Main Street).

## Paint

Paint selection plays a pivotal role in the preservation and enhancement of heritage buildings. It serves as a means of respecting the architectural legacy of the past while also ensuring the continued relevance and visual appeal of these historic structures. By carefully considering paint choices, the authenticity and integrity of heritage buildings can be maintained, safeguarding their cultural significance for future generations.

- Painting of previously unpainted masonry surfaces shall be avoided.
- Select paint colours suitable and appropriate to the period and style of the building, and compatible with surrounding heritage buildings.
- Limit the number of colours to two or possibly three.
- Fluorescent or luminous colours shall be avoided.

A heritage colour palette was developed to assist property and business owners when selecting paint colours for heritage buildings.

Refer to Appendix B for enlarged versions of the heritage colour palettes.

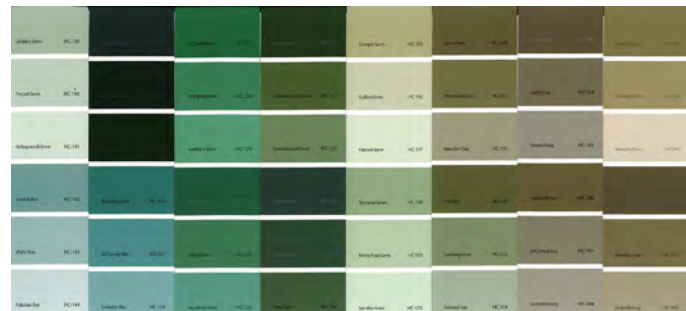
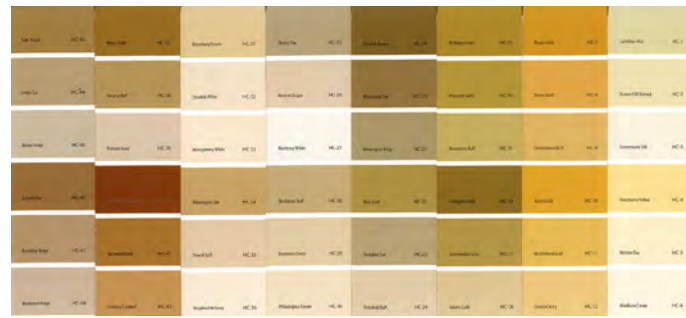


Fig.33: Examples of heritage colour palettes



## Signs

The effectiveness of a sign is determined by the factors presented below. In every case the sign shall meet the business's promotion and identification needs while enhancing the building on which it is placed and the streetscape of which it is part of. The removal of overly large and/or inappropriate located signage is among the first steps in improving both the façade and the street.

Compliance with the Municipality's Sign By-law is important, and the following guidelines outline key considerations

### Simplicity of Content

- The nature of the business shall be the primary message on a principal sign followed by the name of the business as the secondary message on a principal sign. A simple message, arrangement and colour scheme are critical. If additional product or services information display area is required it can be placed on secondary sign areas such as front doors, kick plate panels or display windows.

### Scale and Location

- Appropriate façade surfaces to locate signs include flat surfaces uninterrupted by decoration and openings. Façade mounted signs shall be placed between the storefront cornice and the top of the window display area.

### Legibility

- Simple and clear type is the most effective. Signs placed above the storefront shall contain letters at least nine to fourteen inches in height. As the sign shall be in proportion with the building, so the lettering shall be in proportion with the sign. A general rule is that no more than 60% of the entire sign area shall be used for lettering.

## Colour and Contrast

- The stronger the contrast between the sign letters and background, the more legible the sign.



Fig.34: Example of how branding and signage is prominent and visible from the street.



## Sign Illumination

If direct illumination is necessary, the following guidelines are recommended:

- Illuminate signs from the front (i.e. incandescent goose-neck lamps).
- Fluorescent fixtures may be used for direct illumination if concealed. Use a warm coloured tube known as Deluxe Warm White.
- Spotlights might be used to highlight particular architectural features if concealed. Position spotlights so as not to cause glare to pedestrians and drivers.
- Back-lit signs are not considered appropriate for Bayfield Commercial Core.
- Use of solar powered or alternative energy source fixtures is encouraged.
- Materials for lighting fixtures shall be painted metal, wood or weathered steel.
- Light fixtures shall be equipped with white light only.

## Material

- Use wood wherever possible for the main material of fascia, projecting signs. Wood substitutes are acceptable and shall be painted and treated;
- Lettering materials shall include metals such as brass and copper, and hand-carved woods. Acrylics and vinyls are acceptable as a substitute, but shall be painted; and,
- Vinyl letters are recommended for window signs.



Fig.35: Examples of how sign illuminations are demonstrated.

## Sign Guidelines by Type:

### Wall Signs and Storefront Signs (Fascia Signs)

The term “wall sign” refers to any sign painted directly upon or mounted upon a building wall. Wall signs project no more than eight inches beyond the face of the building. Wall signs are traditionally located between the storefront and the second floor windows on a horizontal single band, sometimes under the storefront cornice, if present. Guidelines include:

- Repair rather than replace original sign bands.
- Use historic photographs as a guide for appropriate signs for specific buildings.
- Fascia signage shall be located within the traditional sign band of the building.
- Fascia signs shall be surface mounted not more than 1.2 metres above the height of the first storey, located along the storefront fascia and project beyond the wall by a maximum of 0.6 metres.
- Second storey fascia wall signs are not recommended.
- Cumulative sign area of Fascia Signs shall be limited to 25% of building façade area.
- Mount wall signs securely and carefully.
- Ensure the upper sign edge is properly flashed to protect any wood element of the building or the sign from deterioration.
- Lettering shall be no more than 2 feet (0.6 metres) in height. Use either embossed or flat lettering and keep the design symmetrical.

- Use a maximum of two contrasting colours together with black or white. Ensure that the sign colours compliment the colours found on the building.
- Request your sign maker to produce something creative and different for your business based on the overall look of the street and your building.
- Do not cover building detail with wall signs.



Fig.36: Storefront Fascia Signs with correctly proportioned sign panel can work well within the defined sign band.

#### Benefits

- In most cases, the Fascia Sign is the primary sign for a tenant.
- A well-placed and correctly proportioned sign defines the storefront and catches pedestrian attention.

### **Projection (Blade) Signs**

Projecting signs are placed at right angles to the building façade, either fixed to the wall or hung from decorative brackets. Their message shall be simple by conveying information to pedestrians in a quick and clear manner. In some instances the simple use of an effigy or symbol works best. Guidelines include:

- Projecting signs shall be installed at a 90-degree angle to the building.
- Internally lit projecting signs are discouraged. Consider other illumination techniques such as shielded spotlights or goose-neck lamps.
- Projecting signage shall project over the sidewalk between 1.15ft (0.35 metres) and 6.00 feet maximum (1.85 metres), the signage shall not be located more than 4.00 feet (1.20 metres) above the height of the first storey and the bottom of the sign shall be 9.00 feet (2.8 metres) above grade at a minimum.
- Maximum sign area will be not greater than 17.2 square feet (1.6 square metres).
- Only one hanging sign per business is permitted.
- Preferred materials are painted, carved or stained wood, painted or non-ferrous metals and where appropriate, rusted or weathered steel.
- Use historic photographs to research examples of period projecting signs.
- Centre the sign over the doorway or align it with vertical building piers, or located at mid-point of features such as display windows.
- Use designs and colours that compliment the building to which the sign is attached.
- Size and position of projecting signs shall be coordinated with those of neighbouring business to avoid interference.



Fig.37: Projection Sign allows a business to showcase their brand and increases pedestrian visibility.

#### **Benefits**

- Projecting signs are highly visible to pedestrians walking along the sidewalk and provide an excellent opportunity for creative expression of retail brand identity.



## Window Signs

Window Signs may include lettering, graphics, symbols such as logo and/or QR codes, and pictures. These signs are applied on the glass surfaces of storefront display windows and doors. They can be etched, painted, attached to the glass or hung directly behind the surface. They are typically small and intended to be read at close range. Guidelines include:

- Place them at the base or the upper portion of the window glass.
- Keep them small and centered, covering a maximum of 25% of the window. Avoid cluttering windows with signage.
- Use letter styles that are easily read. Take into consideration whether the interior of the shop provides a dark or light background, then use a contrasting letter colour.
- Whenever possible, display street numbers on door transoms.



Fig.38: Entry doors are the perfect location for reinforcing the identity and displaying store hours.



Fig.39: Window Sign should be individual letters so as not to block merchandising area and views into the store.

### Benefits

- Graphics applied to the glass are a highly visible, inexpensive method of displaying the store identity and giving helpful secondary information.
- Uncluttered storefront windows make the inside of the store or restaurant visible and draw pedestrian attention to the merchandise or activity within.



### **Signs on Awnings**

Awning and canopy signs are signs that are displayed directly on the awning or canopy. Guidelines include:

- Signs shall be placed on the main face, valences and/or returns of the awning.
- The size of lettering on valences shall not exceed 0.2 metres (8 inches).
- Avoid too much information on awnings - these signs should support the brand image using clear, concise messages and colors.
- Use a solid colour background for sign use.
- Only fabric awnings are permitted; metal awnings are not allowed.

### **Architectural Signs**

Architectural signs include builder's names and dates of construction with accompanying decoration, usually carved in stone. Guidelines include:

- Conserve existing architectural signs and decorative details.
- Promote the use of architectural signs in new construction.



Fig.40: Awning Sign can serve effectively as the primary identification of a retailer if no suitable location for a fascia sign exists.

#### **Benefits**

- Graphics applied to awnings are an inexpensive way to create highly visible signage.
- Awning Signs help extend a retail 'brand' by using appropriate colors and brand elements, and giving dimension to flat storefronts.

### Temporary Sign - Portable

Portable signs are a way for businesses to offer more detailed information about their products or services and special events or sales, and when designed and executed creatively can add visual interest to the sidewalk.

The Municipality is responsible for managing the use of public space for the benefit of all members of the community, and these regulations will balance the value to businesses with the need to maintain safe and clear passage for all sidewalk users.

In order for these signs not to interfere with the safe use of streets by the public, and to reduce sidewalk clutter, not all businesses will be able to have portable signs. It is the Municipality's goal to balance the needs of all users – pedestrians, wheelchairs, mobility scooters, those with mobility issues, visitors, residents and businesses.

- The design of freestanding portable signs should be stable and able to withstand normal wind conditions. Use durable materials like wood or metal that weather well and should complement the storefront façade.
- Portable signs shall not clutter the streetscape and obstruct the pedestrian realm. Portable sign should be located within the store frontage keeping the pedestrian right-of-way clear. Preferably located on private realm, outside of the path of pedestrian travel.
- Portable signs shall only be used during store hours and should be brought indoors when the storefront is not in operation.
- Generic plastic and weighted-base sign boards, such as those filled with water or sand, are not allowed.



Fig.41: Handwritten sandwich boards offer another opportunity for attracting customers.

### Trees and Landscaping

Trees and landscaping enhance an area's character by contributing life, shade, colour, and texture making streets comfortable, interesting and usable to pedestrians.

- Protect and preserve the existing mature trees within the HCD, including trees in both the public realm as well as within private front yards and promote the planting of new trees.
- Where new or replacement trees are provided, they shall be located to fill gaps in the tree canopy and shall be provided with sufficient soil to ensure healthy growth.
- In cases of limited space, “tree sharing” (i.e., trees that grow over lot lines) is encouraged. This practice necessitates careful discussions between property owners, considering factors such as tap root etc.
- Hardscaped surfaces shall be limited to pathways that provide direct access to the street.
- A variety of soft landscaping features, including open lawns, gardens, shrubbery, and ornamental trees shall be the dominant character of the front yard.
- Landscaping shall include a mix of native, low-maintenance species that provide variation in height, colour, and form.
- Grassed areas especially for residential buildings are encouraged within the front yard setback adjacent to the street to maintain the feeling of a wide-open streetscape and soft landscaping.



Fig.42: Open green space between the residential building and the street, featuring a combination of grass and mature trees, provides a sense of openness and spaciousness within the streetscape.

Table 2: List of Recommended Plant Species

Canada Anemone ( <i>Anemone canadensis</i> )
Robin Hill Serviceberry ( <i>Amelanchier x grandiflora</i> 'Robin Hill')
Red Maple ( <i>Acer rubrum</i> 'Sunset')
Kelsey Dogwood ( <i>Cornus sericea</i> 'Kelsey')
Hackberry ( <i>Celtis occidentalis</i> )
Bebb's Sedge ( <i>Carex bebbii</i> )
Elegant Candy Daylily ( <i>Hemerocallis</i> 'Elegant Candy')
Blue Hobbit Sea Holly ( <i>Eryngium planum</i> 'Blue Hobbit')
Maiden Hair Tree ( <i>Ginkgo Biloba</i> )
Shademaster Honeylocust ( <i>Gleditsia trianthos inermis</i> 'Shademaster')
Variegated Hakone Grass ( <i>Hakonechloa macra</i> 'Aureola')
Frances Williams Hosta ( <i>Hosta</i> 'Frances Williams')
Blue Flag Iris ( <i>Iris versicolor</i> )
Blue Danube Juniper ( <i>Juniperus sabina</i> 'Blue Danube')
Tulip Tree ( <i>Liriodendron tulipifera</i> )
Huron Sunrise Maiden Grass ( <i>Miscanthus sinensis</i> 'Huron Sunrise')
Mixed Daffodil ( <i>Narcissus</i> spp.)
Hameln Fountain Grass ( <i>Pennisetum alopecuroides</i> 'Hameln')
Pin Oak ( <i>Quercus palustris</i> )
Blackeyed Susan ( <i>Rudbeckia hirta</i> )
Anthony Waterer Spirea ( <i>Spiraea bumalda</i> 'Anthony Waterer')
Heartleaf Aster ( <i>Symphotrichum cordifolium</i> )
Little Princess Spirea ( <i>Spiraea japonica</i> 'Little Princess')
Ivory Silk Lilac ( <i>Syringa reticulata</i> 'Ivory Silk')
Periwinkle ( <i>Vinca minor</i> )



## Fencing

While fences are important to demarcate private from public property it is important to not isolate the house /property from the street by balancing privacy requirements with the need for a visual connection with the street. Permeable fencing contributes to the open landscape setting and pedestrian experience within the District.

- New high fencing is prohibited to maintain the open nature that currently characterizes Main Street North.
- To maintain visibility of building fronts, fences should generally not exceed a height of 4 feet (1.2 metres), ensuring sightlines remain unobstructed.
- If new low fences are to be built, they shall complement the style of the building and the yard or landscaping.
- Fencing material should be visually permeable to maximize transparency and may consist of low picket, natural edging, wrought iron, low stone walls and a combination of those listed.
- Vegetative fences are permitted up to a maximum height of 4 feet (1.2 metres).
- Where masonry fences are proposed, they shall be no higher than 2 feet (0.6 metres).



Fig.43: Example of low stone wall with hedge planting, combining materials, while ensuring the overall height is maintained.



Fig.44: Example of perimeter hedge

### Driveways

- Driveways shall be limited to one per property.
- Gravel, pebbles or other natural materials that allow rainwater to permeate, and grass to grow within the driveway, are recommended. Where such driveways currently exist, they shall be maintained and not converted to hard paving.
- The widening of existing driveways is discouraged.
- Where new driveways are considered, they shall reinforce the existing pattern of well-spaced driveways located in the side-yard and consolidated between properties where possible to minimize curb-cuts and disruptions to the public sidewalk.
- Driveways for single detached dwellings shall be limited to a maximum width (refer to Zoning By-law) to ensure they are shall not be a dominant feature of the property.

### Foundations

- Protect and maintain existing foundations by ensuring that site drainage is directed away from building and porch foundations.
- When the foundations of buildings or porches have settled or deteriorated excessively, rebuild damaged foundation walls or piers rather than demolishing the structure. Install temporary support for the structure above while the damaged wall or pier is reconstructed.

### Utility and Service Equipment

- Utility and service equipment shall not negatively impact the heritage building and shall be located so as to minimize its visibility from the public realm.
- Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations and should not be visible from the public realm. If visible from the public realm, screen appropriately using landscaping features.

### Features and Spaces around the Building

This guideline focuses on how the areas surrounding a building are organised within a cultural landscape. They play a critical role by defining the interface between the private and public realm, increasing or decreasing the perception of density, and providing visual connections to soft landscaping within a neighbourhood.

- It considers factors such as the size and shape of outdoor spaces, the materials used for surfaces like pathways and driveways, and the presence of overhead structures such as trees or pergolas.
- Retain the overarching park-like setting of the Village throughout the district, integrating green spaces, landscaping, and preserving existing setbacks and ample side yards.
- Protect and preserve the features that define the spatial organization of a building, reflecting its original use.
- Every attempt shall be made to preserve and maintain driveways, walkways, fences and tree canopy that contribute to the character of the space around a heritage building.
- Protect traditional views of property by avoiding the masking or hiding of prominent building features.
- Maintain proper site drainage in any work so that water does not collect or drain towards the foundation.



Fig.45: Buildings along Main Street with wider side yards maintain a consistent rhythm through generous spacing between adjacent buildings, preserving visual connections.





Fig.46: Example of Village Bookstore exemplifies the setting or space around the building, which creates legibility as to the structure's original use and continued 'dwelling like' presence.



Fig.47: Example of storefronts maintaining positioning of both natural and built elements, as well as the visual and physical connections (16 Bayfield Main Street North)



## 4.4 General Building Design: Additions and New Buildings

### Scale and Massing

- Where additions to the building are proposed, they should be setback from the main building facade in order to preserve the integrity and original form of the façade and to visually distinguish the addition from the original building.
- Additions to buildings on corner lots shall address both streets with appropriate materials, glazing, entrances and other architectural features to ensure continuity with street front façade design and to avoid the construction of large blank walls.
- Contemporary additions to a historic building may be considered to clearly distinguish between the heritage building and the new addition. In such cases, the design of the addition shall ensure the scale, proportion, materials, architectural features (i.e. windows, doors, cornices, rooflines) etc. are compatible with and enhance the historic building. A heritage architect shall be consulted prior to undertaking any work.
- Where new additions result in additional roofs and rooflines that are visible from the public realm, they shall be carefully designed to be sympathetic and complementary to the established roofline and design. New buildings with one-storey structures are recommended to use hipped or gabled roofs to maintain architectural consistency within the District.
- Larger buildings, particularly at the streetscape, shall be broken into smaller elements to maintain horizontal and vertical articulations to reflect the neighbourhood scale. This design approach may incorporate:
  - projections and/or recesses of forms and/or wall planes on the façade(s)
  - single-level building elements when located adjacent to lower height dwellings
  - variation in roof forms
  - subdividing the larger building into smaller elements through additive and/or repetitive massing techniques
  - porches and balconies that can reduce the verticality of taller dwellings and bring focus to the main entrance
  - architectural components that reflect human scale and do not appear monolithic
  - horizontal detailing to de-emphasize the massing
  - variation in building materials and colours.
- Additionally, the recommendations of the Bayfield Secondary Plan should be considered.

## Height

- New buildings and additions within the HCD as well as any adjacent properties contiguous to or in the immediate vicinity of a protected heritage property or Heritage Conservation District, shall maintain low-rise scale of the District.
- New buildings should reflect the established height of adjacent structures, with a maximum height limited to two storeys. Increased height up to three storeys might be considered for buildings around Clan Gregor Square and are subject to further site planning requirements and processes.
- The developer must work with the Municipal Staff to ensure compatibility in height, massing, scale, setback, and architectural style.
- The height of an addition may exceed that of the historic portion of a heritage commercial building along Main Street, up to the maximum height of two storeys. This is acceptable, provided all other applicable guidelines in this document are followed, and the overall scale, massing, and design of the addition are subordinate to and compatible with the heritage building.
- The transition in building height may be achieved by:
  - stepping down the proposed dwelling height towards the adjacent shorter dwellings;
  - constructing a mid-range building element between the shorter and taller dwellings on either side;
  - increasing the separation distance between the dwellings.

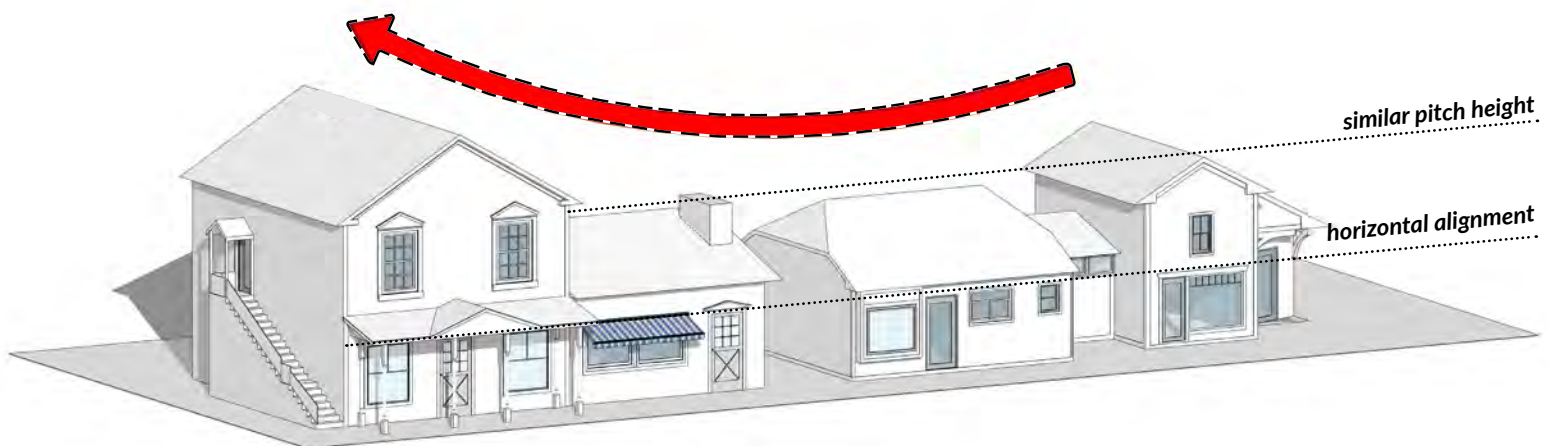


Fig.48: Example of two-storey building appropriately placed adjacent to a one-storey building providing seamless transition

## Windows and Doors

- Windows located on an addition to a heritage building shall be compatible, in terms of alignment, proportions, design and materials, with the rhythm of bays and windows on the heritage building.
  - Where casement, double-hung, and other traditionally-operable window styles are used on additions, they shall be operable.
  - Blank, windowless walls shall not be permitted, particularly when oriented towards the public realm.
  - Use of tinted and reflective glass is not permitted.
- Shutters shall only be installed on buildings that would have originally had them and shall be of the size and design appropriate to the original buildings. Modern shutters in contemporary materials (e.g. aluminum) and in sizes smaller than the window opening, shall be avoided.
- Substitute materials such as vinyl, fiberglass and metal windows must only be used only where necessary to re-establish overall visual integrity of the building. In areas of highly modelled woodwork, wood must be the first choice, but compatible, cost-effective materials or details may be considered, provided they are accurately moulded to match details, finishes and colours maintaining the historic appearance.
- Glue-on or snap-on muntins (ie. window grilles) shall not be permitted. Muntins shall be true divided lights or simulated divided lights with dark spacers at every muntin.
- Doors located on an addition to a heritage building shall be compatible, in terms of their location, alignment, proportions, design and materials, with the architecture of the heritage building, as exemplified by the existing entrances and rhythm of bays.
  - New entrances shall be subordinate to the primary historic entrance, in terms of location and design.
  - Wood panelled doors are most appropriate for the HCD. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis, providing they effectively replicate wood doors in their detailing, finishes and colour.
  - Sliding doors and other doors that do not swing shall not be permitted on elevations of additions that are visible from the public realm.
  - If a storm/screen door is installed, simple styles with narrow frame design that minimally obscure the historic door and complement the building's style is generally most appropriate.

- Where new entrances or exterior staircases are required for additions, they should be installed on secondary elevations.
- Ramps may be permitted for barrier free access in accordance with applicable legislation but shall not be physically attached to heritage building fabric, such as walls or foundations.



Fig.49: Example of how to incorporate an exterior staircase.



### Exterior cladding

- Exterior walls of new additions or new buildings shall be physically and visually compatible, in terms of materials, finishes, colours and detailing, and shall not negatively impact the heritage character.
- For painted surfaces, select colours that are compatible with the architectural style, cladding materials, and colour of the heritage building.
- Contemporary and/or non-traditional materials, such as metal panelling and glass (curtain walls) may be permitted as accents on a case by case basis, but not as the principal cladding of additions.
- The application of materials traditionally not found in the District should generally be avoided. Where these materials are located outside of the public realm, they may be permitted.
- Acceptable cladding for a new addition or new buildings includes brick masonry, stone masonry, wood clapboard, and fiber cement board with paint finish.



Fig.50: Example of non-traditional materials used as additions (Goderich Town Hall)

### Patios

- The consistency of the commercial street walls with the primary façades of buildings set at the sidewalk is an important character-defining attribute of the District. Accordingly, enclosed patios at the primary façade(s) of the building are not generally supported.
- Patios must not permanently obscure or cover the primary façades of contributing buildings.
- Consider patio elements that are removable and temporary/seasonal over permanent installations. If permanent elements are proposed, high quality materials are preferred.
- Patio designs are to be barrier-free and accessible and not block any walkways or ramps.
- Avoid anchoring patio elements directly into the primary façades of buildings.



Fig.51: Example of patio located in the building frontage enhanced with decorative fencing, landscape planters and complementary metal chairs and tables.



## 4.5 Guidelines for Public and Civic Realm

Public and Civic Realm elements comprise buildings, streetscapes, and landscapes owned by the Municipality of Bluewater, including the boulevards along Bayfield Main Street North, the Huron County library, Bayfield Town Hall, and the public park - Clan Gregor Square, thereby completing Bayfield's Public and Civic Realm.

These buildings, streets and open spaces create a link between historic properties and buildings and play a significant role in the heritage character of Bayfield and in the Village's everyday life as the civic and recreational heart of the community.

The design guidelines for the Public and Civic Realm focus on ensuring that new developments, including buildings and streetscaping/landscaping projects, maintain attractive and functional pedestrian spaces and connections.



Fig.52: Streetscape elements such as paved sidewalk and grassed boulevard with trees along Bayfield Main Street North.

### Streetscapes

The Municipality of Bluewater enlisted BMROSS for engineering and streetscape design. The revitalization of Bayfield Main Street stands as a testament to the Municipality of Bluewater's commitment to enhancing community spaces and preserving historical heritage. This transformative project, initiated after careful consideration and extensive consultation with members of the public, aimed to breathe new life into one of Bluewater's core business districts while honouring its rich history.

Spanning the area between Clan Gregor Square and Catherine Street, the revitalization project sought to revitalize Bayfield Main Street as a vibrant, accessible, and welcoming thoroughfare for residents and visitors alike. The project's objectives were multifaceted, with a focus on improving safety, accessibility, and aesthetics, while also celebrating the area's cultural heritage and promoting economic vitality.

Important improvements were implemented to achieve these goals, including the addition of pedestrian lighting along walkways, upgrading streetlights for enhanced visibility, and improving drainage infrastructure to mitigate flooding and manage water quality. The introduction of rain gardens not only enhanced the streetscape's environmental sustainability but also contributed to reducing stormwater runoff and improving water quality.

The project also prioritized the restoration of the tree canopy through strategic tree planting efforts, providing shade, improving air quality, and enhancing the overall aesthetic appeal of Bayfield Main Street. Accessible sidewalks, compliant with Accessibility for Ontarians with Disabilities Act (AODA) standards, were constructed to ensure inclusivity and enable all members of the community to enjoy the streetscape safely and comfortably.

Furthermore, efforts were made to increase the availability of accessible parking spaces, facilitating convenient access for individuals with disabilities and improving overall accessibility along the street. These enhancements were complemented by landscaping initiatives, such as the creation of smaller parking courts and the screening of large surface parking lots with greenery and low walls.

The completion of the revitalization project in 2023 marked a significant milestone for Bayfield Main Street and the wider community. By preserving its historical character while embracing modern amenities and sustainable practices, the revitalized streetscape now serves as a model for future urban renewal initiatives, embodying the Municipality of Bluewater's dedication to creating thriving, resilient, and inclusive communities.



### Sidewalks

- Preserve the character of Bayfield Main Street North as the primary commercial streetscape in Bayfield by ensuring well-maintained sidewalks, opportunities for outdoor retail activities (such as café seating and spill-out retail), and improved planting arrangements.
- Maintain a continuous, barrier-free pedestrian path of travel for the entire length of Main Street West.
- Street furniture, signages, etc. shall not impede pedestrian movement.

### Street Furniture and Lighting

- Provide regular street furniture on Bayfield Main Street North, including benches, signage, waste receptacles, seating, bollards, art installations, etc.
- Street furniture shall be consistent and shall reflect the historic character of Bayfield Main Street North.
- Lighting levels will be appropriate for the size, character and function of buildings and sites.
- Appropriately scaled pedestrian lighting should be provided at building entrances, pedestrian walkways, steps and ramps, amenity areas, parking areas and other site features.
- Opportunities for street furniture shall be explored to integrate and celebrate the unique history of Bayfield. Designs could include collaborations with local artists or be facilitated through a design competition to be coordinated by the Municipality and the Heritage Advisory Committee.
- Incorporating subtle accent lighting on prominent buildings, monuments and

other built features to accentuate civic and architectural design is encouraged.

- New lighting should minimize light spill and glare, meeting guidelines for dark sky conditions.
- Energy efficient outdoor lighting fixtures are encouraged.
- The physical and visual impact of street furniture should be limited such that the natural elements remain the prominent visual element (ie. avoid visual and physical clutter).

### Gateway and Signage

The gateway feature of Bayfield is Clan Gregor Square, which serves as a formal entrance to Old Bayfield and Bayfield Main Street North.

- Maintain Clan Gregor Square signage at the entrance to provide a sense of place and local pride through the interpretation of the history of the site.
- Maintain landscaping and lighting to enhance the visual appeal of the gateway.
- Prioritize pedestrian safety by providing clearly marked crosswalks and pedestrian pathways.
- Include interpretive signage or public art installations that educate visitors about the history and significance of Bayfield.
- Incorporate elements that celebrate Bayfield's cultural heritage and landscape.
- Establish a maintenance plan to ensure that the gateway remains clean, well-maintained, and free from litter or debris.
- Engage local community groups or volunteers to assist with regular upkeep and beautification efforts.

### Trees and Plantings

While streets are critical pieces in a community, the maintenance and up keeping of trees and plantings to complement and enhance streetscapes is equally important. If properly planted, managed, and maintained, urban landscaping efforts can provide significant social, economic, and environmental benefits. As one of the largest features in a community's streetscape landscape plan, trees play a critical role in the health and vitality of this urban forest.

- Protect and maintain the existing and future tree canopy within the HCD. Tree health should be monitored on a regular basis and dead wood removed to avoid decay and prevent property damage.
- It is recommended that the Municipality of Bluewater establish a tree protection and management by-law to preserve the mature tree canopy within the HCD, including trees in both the public realm as well as within private front yards.
- Where new or replacement trees are provided, they shall be located to fill gaps in the tree canopy and shall be provided with sufficient soil to ensure healthy growth.
- In cases of limited space, "tree sharing" (i.e., trees that grow over lot lines) is encouraged. This practice necessitates careful discussions between property owners, considering factors such as tap root etc.
- As part of a broader signage and wayfinding strategy, significant heritage trees shall be identified and marked (i.e. species, age, heritage significance) to celebrate the role of trees in Bayfield's historic streetscapes.

- Protect and maintain existing grassed boulevards. Where grassed boulevards are damaged by winter maintenance activities they should be repaired the following spring.

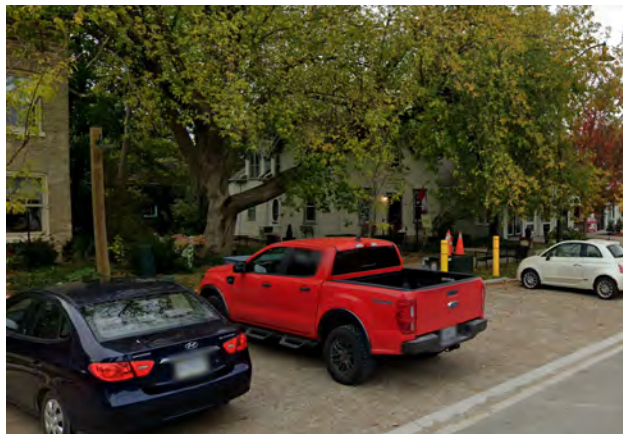


Fig.53: Mature tree providing canopy for various properties.



Fig.54: A distinguished mature tree serves as a picturesque green backdrop for end of street views.



Fig.55: "House in a forest" with extensive soft landscaping surrounding the property.

## 4.6 Adjacent Lands

Development or alterations outside of the HCD boundary are not subject to the guidelines of the HCD Plan, nor are they required to obtain heritage alteration permits. However, site alteration and development adjacent to the HCD is required to conform to the Official Plan Policy 8.3.3.1.3. Proposed redevelopment and significant alterations adjacent to the Bayfield Heritage Conservation District must demonstrate that the heritage attributes of the adjacent HCD or heritage property will be conserved.

- The developer must demonstrate that the cultural heritage value, heritage attributes and integrity of existing heritage resources are retained.
- The developer will work with the Municipality to determine what is required to demonstrate protection of existing heritage resources based on the scale and location of a proposed development, and this may include:
  - The requirement for a heritage impact assessment, carried out by a heritage professional or architect;
  - The requirement for an archaeological assessment in areas of archaeological potential or in areas with known archaeological resources, carried out by a licensed archaeologist; and/or
  - Conformity with the Heritage Conservation District Plans or area design guidelines, where they exist.

## 4.7 Character Area Specific Guidelines

The heritage character areas are defined by heritage attributes that give each area a unique or recognizable heritage character. The attributes can constitute some or all of the following:

- architectural style and design of buildings,
- building placement and setbacks,
- a particular scale and massing,
- a particular landscape or setting,
- the streetscape and street cross-section, and
- landmark-style civic and religious structures.

Corresponding to the heritage attributes of each character area are a number of area specific guidelines. In all cases, it is the purpose of the guidelines to fulfill the objectives of the HCD including the conservation of contributing buildings, landscapes, and streetscapes and to ensure new designs contribute to the heritage character of Bayfield Conservation District.

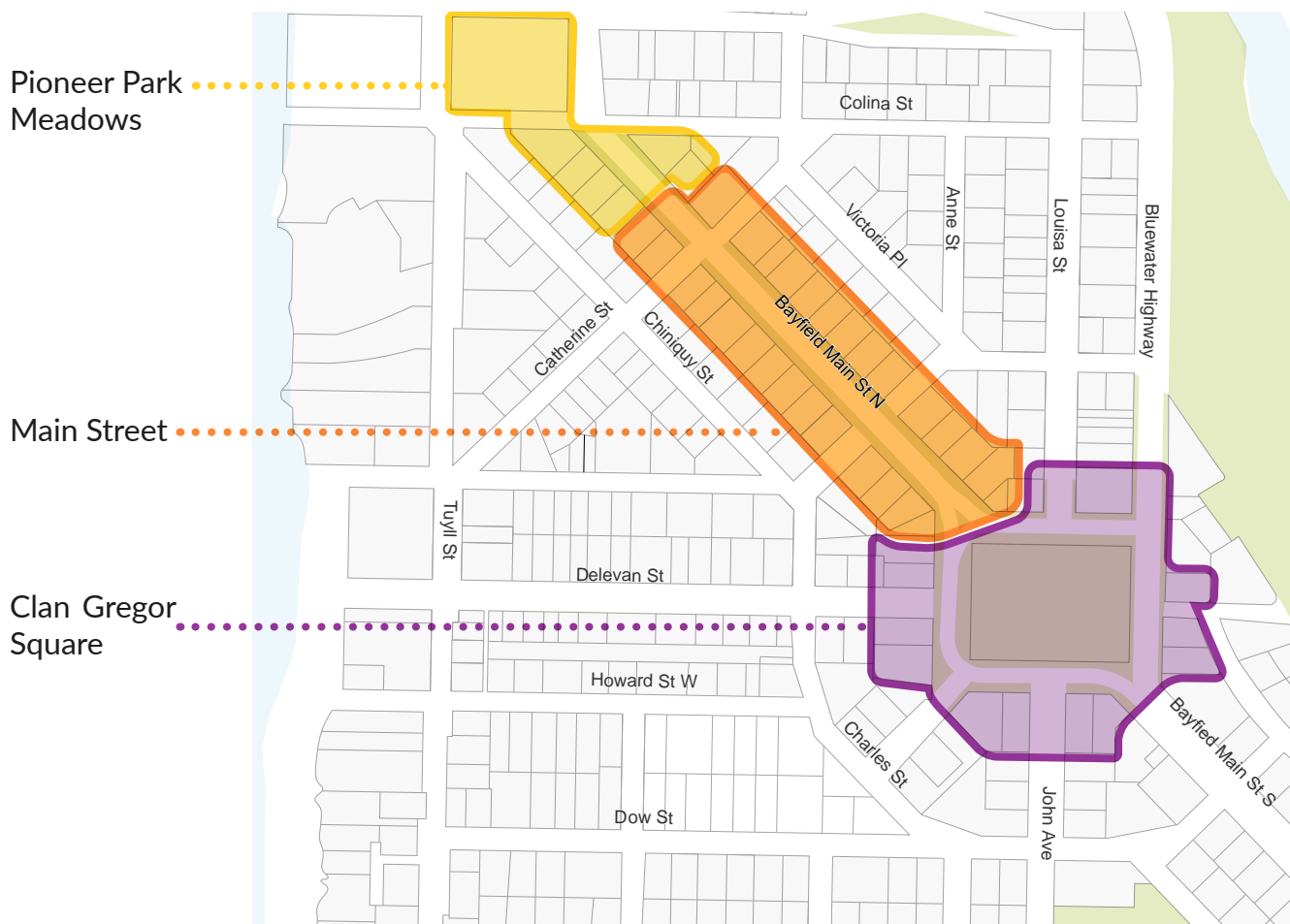


Fig.56: Character areas identified within the Updated HCD Boundary



#### 4.7.1 Clan Gregor Square

The buildings surrounding Clan Gregor Square face onto The Square with a common orientation and formal treescapes to create a sense of enclosure in the park. It is important that every aspect of a building contributes to the cohesion of the public realm, establishing a uniform street frontage. Features such as corners, primary entrances, signage, awnings, and lighting play a significant role in building design. All these elements enhance the public realm, improve the aesthetic appeal, and enrich the pedestrian experience.

New buildings in The Square, or alterations and additions to existing buildings, shall:

- Front directly onto The Square.
- Conserve and enhance the tree canopy.
- Provide ample soft landscaping and trees that contribute to the overall streetscape.
- Provide opportunities for pedestrian access.
- Maintain the intimate scale of the street, through the building mass, the length of the façades, and the detailing of architecture style and landscape design.
- Permit an increase in building height to 3 storeys around Clan Gregor Square, subject to further site planning requirements and processes. The developer must work with the Municipality to ensure compatibility in height, massing scale, setback and architectural style.

#### 4.7.2 Main Street

The intent of the core commercial area is to preserve historical built form and continue to enhance its cultural significance with respectful infill development, expansions and redevelopment. When a building is altered or a new building is proposed in the commercial core, the streetscape as a whole takes precedence over any individual building. Design elements such as siting, massing, proportion, composition, exterior finish and detail contribute to blending in with the existing character of the area.

- The main street character should feature pedestrian oriented retail at grade level and residential uses above grade or to the rear.
- Additions to a commercial building on Main Streets shall maintain the established height or width of the existing building, with a maximum height limited to two storeys.
- Ground-level building additions should be discreetly located in the side or rear yard, set back from the primary building.
- Existing buildings should retain side yard conditions to allow for the planting of trees on private property along Main Street.
- Small landscaped courtyard spaces should be maintained to enhance the Main Street's green character and serve as gathering spots for the community.
- Placement of signage and design and should maintain a cohesive visual identity while allowing businesses to effectively communicate with customers

### 4.7.3 Pioneer Park Meadows

Nestled between Bayfield Main Street North and neighbouring residential areas, Thompson Park forms a vital transition zone. Recognized for its generous front yards featuring open lawns, mature trees and ornamental planting, this area has been rezoned as Heritage-Residential Zone (HR1), reflecting the need for sensitive development that harmonizes with the surrounding built environment.

- New residential dwellings shall be set back from the street to create opportunities for a well-landscape front yard. Where adjacent to existing dwellings, a new dwelling shall maintain the established setback.
- A maximum of two storeys and only residential uses are permitted.
- Where additions are provided, they shall be discreetly located within the side and/or rear yard and shall be set back from the street facing elevation(s) of the primary dwelling.
- Where small additions are visible from the public realm, the exterior walls shall utilize materials and patterns that complement the primary dwelling. It is not necessary for a small addition to mimic the primary dwelling.
- Where additions are limited to the rear of the building, and not visible from the public realm, contemporary designs that differ from the primary building may be considered on a case-by-case basis.
- Materials that complement the architectural style of the primary dwelling shall be considered. A heritage architect shall be consulted to ensure new materials are complimentary to the historic patterns and details.
- The removal of soft landscaping and mature trees is strongly discouraged given the contribution of both elements to the character of this area.
- Front yard fences are not part of the character of the neighbourhood and shall generally be avoided; ornamental hedges or permeable fences to maximize the transparency and will be permitted if less than 4 feet high.

## 5. HERITAGE PERMIT APPROVAL PROCESS

### 5.1 Purpose

A Heritage Permit is intended for properties designated under either Part IV or Part V of the Ontario Heritage Act in order to perform certain forms of maintenance, work, contracting, landscaping, or otherwise which impacts a heritage resource. Heritage Permits are intended to guide proposed alterations to heritage properties and conserve the designated heritage resources of the Village. Additions, changes, renovations, and even regular maintenance can have an impact on designated heritage resources over time. The use of Heritage Permits allows for the proposed work to be reviewed so that it is appropriate for heritage conservation – meaning that the reasons for which the property was designated are not diminished and the integrity of the property is upheld.

Owners need to apply for Heritage Permits when the proposed work is likely to affect the designated heritage attributes of the property. Also, proposed works requiring Building Permits and Site Plan Approval for proposed works on properties in a Heritage Conservation District (Part V of the Ontario Heritage Act) require a heritage permit prior to the issuance of a Building Permit or Planning Approval. Heritage Permits do not take the place of Building Permits – Please inquire with the Building Division before any work is carried out in order to ensure all required permits and approvals are obtained.

## 5.2 Work Requiring Approvals

The Ontario Heritage Act stipulates that Applications for Alterations under the Ontario Heritage Act are required in HCDs only for work on the exteriors of buildings or structures.

Table 3: Heritage Permits and Exemptions for Properties within the HCD

Type of Work	Contributing Properties	Non-Contributing & Character Supporting Properties
Alterations or additions to buildings or structures visible from the street(s)	Major Heritage Permit - requires Council and Heritage Advisory Committee approval	Major Heritage Permit - requires Council and Heritage Advisory Committee approval
Alterations or additions to buildings or structures not visible from the street(s)	Minor Heritage Permit - requires Municipality Staff approval	No Heritage Permit
Alterations to storefronts	Minor Heritage Permit - requires Municipality Staff approval	Minor Heritage Permit - requires Municipality Staff approval
Alterations to signage	Minor Heritage Permit - requires Municipality Staff approval	Minor Heritage Permit - requires Municipality Staff approval
Replacement of new windows, doors, cladding material (vinyl, aluminium, stucco, masonry veneers, etc.), roofing materials, soffits, eaves troughs and down spouts, and decorative details	Minor Heritage Permit - requires Municipality Staff approval	No Heritage Permit
Porch/verandah or chimney reconstruction or construction	Minor Heritage Permit - requires Municipality Staff approval	Minor Heritage Permit - requires Municipality Staff approval
Installation of dormers, skylights, awnings or shutters	Minor Heritage Permit - requires Municipality Staff approval	No Heritage Permit
Painting, including previously unpainted masonry or wood cladding	Minor Heritage Permit - requires Municipality Staff approval	No Heritage Permit
Masonry cleaning and repointing	Minor Heritage Permit - requires Municipality Staff approval	No Heritage Permit
Installation of temporary/removable storm windows and doors	Minor Heritage Permit - requires Municipality Staff approval	No Heritage Permit



Type of Work	Contributing Properties	Non-Contributing & Character Supporting Properties
Additions of solar panels or other alternative energy sources	Minor Heritage Permit - requires staff approval	No Heritage Permit
New or increased parking areas	Major Heritage Permit - requires Council approval	Major Heritage Permit - requires Council approval
Demolition to any part façade or all of building	Major Heritage Permit - requires Council and Heritage Advisory Committee approval (when it is demonstrated there is no other viable option)	Major Heritage Permit - requires Council and Heritage Advisory Committee approval (when it is demonstrated there is no other viable option)
New Construction	Major Heritage Permit - requires Council and Heritage Advisory Committee approval	Major Heritage Permit - requires Council and Heritage Advisory Committee approval
Interior renovation work	No Heritage Permit	No Heritage Permit
Installation of vents, satellite dishes, meters, utility boxes, A/C units, etc	No Heritage Permit	No Heritage Permit
Soft landscaping	No Heritage Permit	No Heritage Permit
Construction of residential rear patio/decks	No Heritage Permit	No Heritage Permit
Continuing maintenance or small repairs with the same materials such as, repaving of driveways, repairs to soffits, weather stripping, eavestroughs, and downspouts	No Heritage Permit	No Heritage Permit

## 5.3 Heritage Permit Process

The Heritage Permit Process will be administered by Municipal Staff. The following flow chart summarizes the process and applicable streams for various applications.

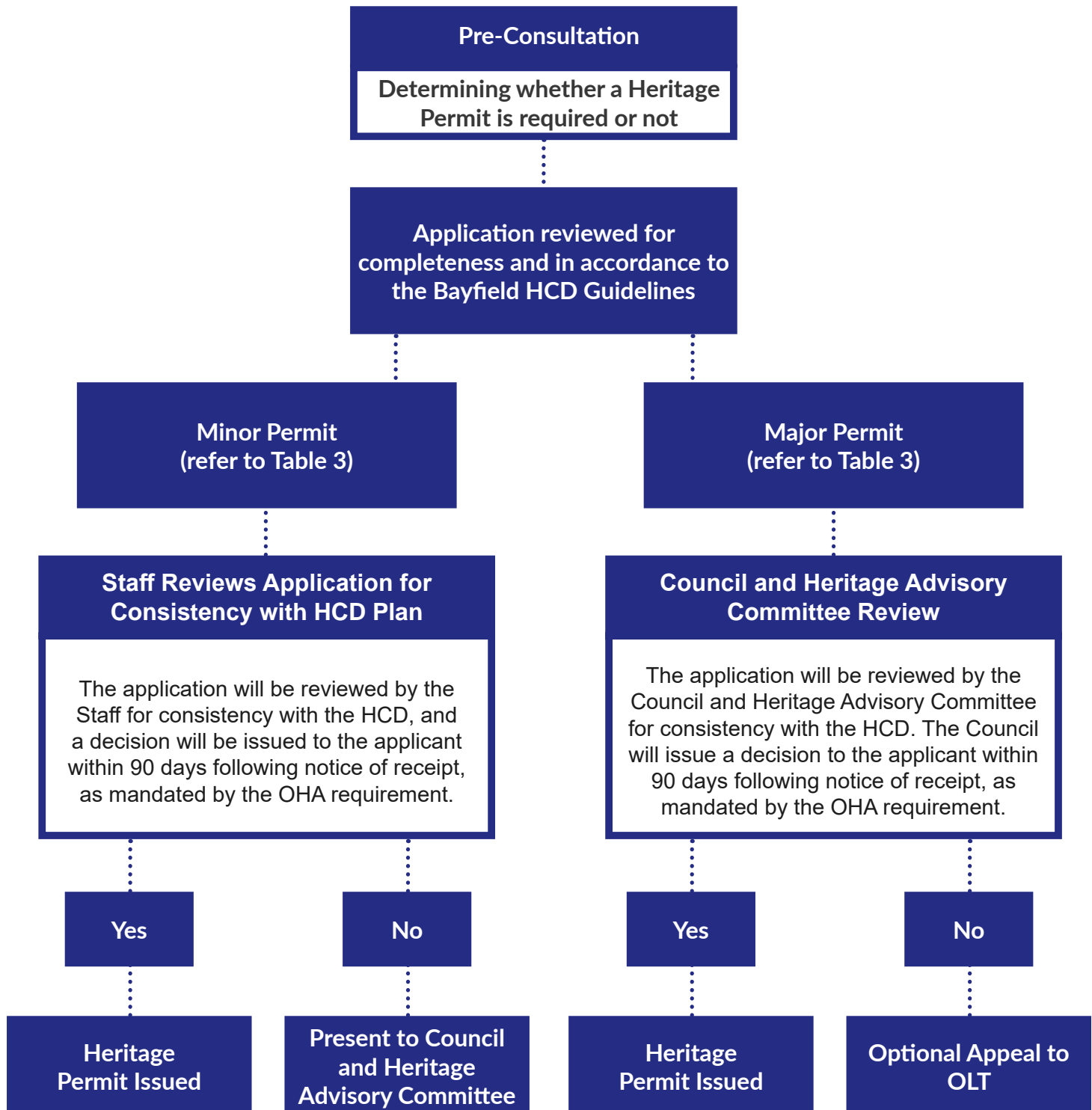


Fig.57: Heritage Permit Process

## 5.4 Submission Requirements for a Heritage Permit

The Municipality requires an application form and detailed documentation with your application(s) to ensure that:

- the cultural heritage value and interest of designated properties within the Bayfield HCD are protected and conserved; and
- to allow an accurate assessment of the merits and technical details of your proposed works.

The following submission requirements are required with your application. The level of detail required for reports and/or studies listed below can vary, depending on the nature of your property and your proposal.

### 1. Municipal address of the property;

### 2. Name and address of the property owner;

### 3. Location Plan

- A site plan or sketch that illustrates the location of the proposed alteration, demolition or removal. Location Plan should:
- Include details of the location of each building, structure and/or heritage attribute and/or value that are to be altered, demolished removed, retained and/or erected should be clearly shown on the plan.
- Include buildings, structures, heritage attributes and/or landscape features that are to be demolished or removed should be shown in red.
- Be drawn to a standard metric scale (i.e. 1:100, 1:200, 1:500)
- Include all property lines, abutting roads and building footprints on the site and on adjacent lot.

### 4. Drawings and Written Specifications

The drawings and written specifications for the proposed alteration, demolition or removal. The drawings and written specifications should include:

- Existing and Proposed plans, sections and elevations that show the details of the building, structure and heritage attribute that is proposed to be demolished, removed, altered or erected.
- Buildings, structures and attributes to be removed or demolished should be shown in red on the existing drawings.
- Buildings, structures and attributes that are to be retained should be shown in black on all proposed drawings.
- New construction should be shown in blue.

- If no changes are being proposed to a specific building, structure or heritage attribute on the subject property, a written confirmation of this and confirmation of its proposed conservation can be provided instead of including proposed plans, sections and elevations of that specific building, structure or heritage attribute.
- Plans and/or specifications should show materials, colours, dimensions, massing and the extent of work.
- The drawings and specifications should show any proposed changes to existing chimneys, external walls, cladding, external doors, floors, eaves troughs and downspouts, windows, exterior trim, fencing/means of enclosure, porches/verandahs, roofs, storefronts, signs, boundary treatments, exterior lighting, vehicle access and surface treatments.
- 3D renderings of proposed work for large scale projects.

### 5. Description of the Property

The description of the property that is the subject of the application, including such information as the concession and lot numbers, reference plan and part numbers, and street names and numbers. The description should include:

- all existing buildings, structures and heritage attributes on the property and should include their age, location, type of construction and materials;
- existing landscaping including mature trees, boundary treatments and driveways. If this description is included as part of a technical study please confirm the relevant pages within the study where the description can be found.
- The reasons for the proposed alterations, demolition or removal.
- Details of the potential impacts to the heritage attributes of the property. This should include:
- mitigation measures that are being used to minimize the impact of the proposed changes on the heritage values and attributes of the property. If this information is included as part of a technical study, please provide confirmation of the relevant pages within the study where this information can be found.
- A Heritage Impact Assessment prepared by a member of Canadian Association of Heritage Professionals (CAHP) if the application proposes the demolition or removal of a building or structure.

### 6. Photographs

Photographs that depict the existing buildings, structures and heritage attributes that are affected by the application and their condition and context. The photographs should:

- be recent (within 3 months of the application submission date);
- depict all elevations of the existing buildings, structures and each heritage attribute affected by the proposed works, including the buildings, structures and heritage attributes that are unobstructed by landscaping, vehicles etc.



- Show the existing condition and context of the building, structure and/or each heritage attribute(s). The context includes other buildings and existing landscaping (mature trees, fences, walls, driveways) on the subject property.
- Include archival photographs if available
- Signature of authorization by the property owner; and

Once a complete application has been submitted, the Act requires the Municipality to either grant or refuse the permit within a period of 90 days. Approval will be granted as long as:

- There are no material changes to plans, specifications, documents or other information that forms the basis for issuing the permit, and;
- The work is carried out in accordance with the plans, specifications, documents or other information.

For projects requiring a building permit, the applicant must apply for a building permit as well as a heritage permit: the two review processes will proceed simultaneously. For projects requiring Site Plan Approval, or an amendment to the Zoning By-law or Official Plan, separate applications for these actions must also be made, for review by relevant Municipal Staff.

## 5.5 Roles and Responsibilities

The HCD is managed by Municipal Staff, the Heritage Advisory Committee and Council in cooperation with property owners. Each group has their own roles and responsibilities to play in establishing a successful HCD:

### Municipal Staff

Municipal Staff refers to the Development Services Department and County Planning Department.

Roles and Responsibilities are:

- Advise property owners when heritage alteration permits are required.
- Receive and review heritage alteration permits for completion.
- Determine if alteration is delegated to staff approval depending upon on the nature of the application. Municipal Staff is delegated the authority to issue minor heritage permits.
- Acknowledge receipt of application and begin 90-day process to grant or refuse permit, if permit is delegated to staff authority.
- Forward alteration permit application to Heritage Committee for discussion and review at next available meeting, where applicable.
- Work with property owner to modify application/plans, if required.

### Heritage Advisory Committee

The Heritage Advisory Committee (HAC) role is advisory and consultative. HAC's assist municipal Council on all matters relating to the legal designation and conservation of property of cultural heritage value or interest. This can involve individual properties, heritage conservation districts or other heritage matters.

Roles and Responsibilities are:

- Include staff reports and heritage alteration permit applications during regularly scheduled meetings.
- Receive delegations at committee meetings to speak on behalf of their applications.
- Review alteration permit applications and their adherence to the HCD Guidelines.
- Provide constructive comments or feedback on where applications may need revision to meet the HCD guidelines.
- Make recommendation on granting, granting with conditions, or refusing heritage alteration permits.

## Council

Roles and Responsibilities are:

- Include Heritage Advisory Committee resolutions, staff reports and heritage alteration permit applications during regularly scheduled meetings.
- Receive supporting staff reports, applications, or other documentation regarding alteration permit applications.
- Receive delegations at Council meetings to speak on behalf of their applications, if applicable.
- Make decision on granting, granting with conditions, or refusing heritage alteration permits within 90 days of receiving the application.
- Revise decisions regarding Ontario Land Tribunal (OLT) application permits, if applicable.

## Property Owners

Roles and Responsibilities are:

- Review the HCD Plan to determine if a heritage alteration permit is required for the proposed work.
- Consult with Municipal Staff to discuss the nature of the proposed alteration or development and confirm requirements of the heritage alteration permit.
- Review the policies and guidelines of the HCD Plan.
- Apply for heritage alteration permit with required supporting documentation.
- Undertake alterations and development in accordance with the principles, policies and guidelines outlined in the HCD Plan.

## 5.6 Appeals Process

As per the Ontario Heritage Act, property owners have the right to appeal the decision of Council to refuse a heritage alteration permit or the conditions applied to the granting of a heritage alteration permit. Appeals will be directed to a Ontario Land Tribunal. Applicants appealing to the Local Planning Appeals Tribunal under Section 34.1(1) or Section 42 (7) of the Ontario Heritage Act must appeal the Council's decision within 30 days of the owner receiving the Notice of Council's Decision. The Tribunal shall hear the appeal and may take one of the following actions:

- Dismiss the appeal.
- Direct that the permit be issued without terms and conditions requested by the municipality.
- Direct that the permit be issued with conditions required by the Tribunal.



## 5.7 Education and Promotion

Education and promotion can be a valuable part of successfully managing an HCD. Providing property owners, Municipal Staff, the Heritage Advisory Committee and Council with tools to understand the HCD process and tools at their disposal helps to get all parties on the same page with proposing or reviewing applications for alterations or new development.

It is recommended that the Municipality establish a page on its website dedicated to the HCD, with copies of the Study and Plan available for download. This page may also include heritage alteration permit process, the requirements for submitting a heritage alteration permit, a copy of the heritage alteration permit application, and links to helpful resources. Such resources may include:

- The Ontario Heritage Act
- The Ontario Heritage Tool Kit
- The Ontario Heritage Trust
- The Standards and Guidelines for the Conservation of Historic Places in Canada
- Other websites or documents that provide guidance on maintaining, repairing or enhancing historic buildings and places.

It can also be beneficial for municipalities to provide tools to educate property owners and business owners on other aspects outside of the implementation details. This might include providing an overview of how property owner's investments in their properties can be protected by the HCD process, links to groups or organizations that can provide support or resources for property owners (if there is any), information on financial incentives available for property owners, and answers to frequently asked questions about HCD. Over the long term, as properties change hands, these tools can continue to be useful resources for new property owners.

### Other Resources

#### **Ontario Association of Architects**

<https://www.oaa.on.ca/>

#### **Canadian Association of Heritage Consultants**

<https://www.cahp-acecp.ca/>

#### **National Trust of Canada**

<https://www.nationaltrustcanada.ca/>

#### **Architectural Conservancy of Ontario**

<https://aontario.ca/>

#### **Regeneration works**

<https://regenerationworks.ca/>

## 5.8 Incentive Programs

Incentives of various kinds can be effective ways of encouraging owners to maintain and enhance heritage properties. At present, however, there are no programs at either the Federal or Provincial level that offer financial assistance to property owners for conservation work on heritage properties. That said, the Municipality will continue to monitor both levels of government for any such programs and will apply for funding to support heritage conservation. There have been different types of incentives available in the past, from both the Provincial and Federal Governments, and these have included grants, loans and preferential tax treatment. Another common form of incentive that is popular with many property owners is a faster approval process made possible by clear definition of requirements, support by qualified public service staff, and exceptions from certain building regulations. Some of the most effective incentive programs in Ontario have included:

- A clear and efficient review process for heritage permit applications, to save time and money.
- Property Tax Relief Program for improvements to heritage properties.
- Façade grants.
- Full use of the provisions in the Ontario Building Code that allow exceptions for heritage properties.

**APPENDIX A: List of properties within the HCD  
Boundary**



Address	5 The Square
District Sub-area	Clan Gregor Square
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in the generous front and side setbacks of the house-form structure which affords ample space on the lot for mature trees. The orientation of the structure's primary facade to the Square also typifies the distinct character of properties within the Clan Gregor Square sub-area. Architecturally, the two-storey Georgian-style structure is a representative example of the architecture common during this period of Bayfield's development around Clan Gregor Square and along Bayfield Main Street North.</p>	



Address	6 The Square
District Sub-area	Clan Gregor Square
Heritage Status (2023)	Part IV & Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in its historical association with the rapid growth of the village and expanding congregations during the early decades of the twentieth century. Constructed originally as Standee's Presbyterian Church in 1902, the structure has associative value with several religious denominations. The property also contributes to the District through its modest ecclesiastical architectural which is representative of the small, but prosperous community that Bayfield was at the beginning of the twentieth century.</p>	





Address	7 The Square
District Sub-area	Clan Gregor Square
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in the two-storey massing and symmetrical Georgian styling of the house-form structure, which are representative features of the mixed residential and commercial properties within the Clan Gregor Square sub-area. The property also contributes to the character of the sub-area through the structure's orientation to the Square and the generous lot setbacks, which afford ample space for mature trees and naturalized landscaping.</p>	



Address	8 The Square
District Sub-area	Clan Gregor Square
Heritage Status (2023)	N/A
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in its irregular orientation to the Square along the axis of Bayfield Main Street North with a rear setback affording generous space for mature trees. It also makes architectural contributions to the District through its modified Georgian styling which represents the historical development of mixed residential and commercial properties within the Clan Gregor Square sub-area and the southern portion of the Main Street North sub-area.</p>	



Address	9 The Square
District Sub-area	Clan Gregor Square
Heritage Status (2023)	N/A
Contributing Status	Non-contributing, but character supporting
<p><b>Statement of Character Support</b></p> <p>This property supports the character of the District through the one-storey massing and gable roof of the house-form structure, which reflects the built typology of the one- and two-storey residential structures constructed in Bayfield at the end of the nineteenth and the beginning of the twentieth century. The property also supports the park-like character of the District through the structure's orientation to the Square and the generous front setback and soft landscaping features.</p>	



Address	11 The Square
District Sub-area	Clan Gregor Square
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in its historical role as a key civic institution and public space in the Village. Constructed in 1882 as a purpose-built town hall, the structure represents the expansion of civic infrastructure to accommodate a growing population. The property also contributes to the District through the orientation of the structure's principal elevation to the centre of Clan Gregor Square, as well as providing a terminating view from the north side of the Square.</p>	





Address	12 The Square
District Sub-area	Clan Gregor Square
Heritage Status (2023)	N/A
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in both its orientation to the Square, which is typical of the Clan Gregor Square sub-area, as well as being a representative example of the Ontario Cottage-style architecture common amongst residential structures in the second half of the nineteenth century—a time of sustained growth within the village.</p>	



Address	13 The Square
District Sub-area	Clan Gregor Square
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in the generous front and side setbacks of the house-form structure which affords ample space for mature trees at the side and rear of the property. The two-storey-plus-tower Italianate structure possesses a degree of architectural detailing that also represents the economic growth and prosperity of Bayfield during the last decades of the nineteenth century.</p>	



Address	14 The Square
District Sub-area	Clan Gregor Square
Heritage Status (2023)	N/A
Contributing Status	Non-contributing
Statement of Contribution  N/A	



Address	15 The Square
District Sub-area	Clan Gregor Square
Heritage Status (2023)	N/A
Contributing Status	Non-contributing
Statement of Contribution  N/A	





Address	16 The Square
District Sub-area	Clan Gregor Square
Heritage Status (2023)	Part V
Contributing Status	Non-contributing, but character supporting
<p><b>Statement of Character Support</b></p> <p>This property supports the character of the District through the house-form structure's two-storey massing and orientation to the Square, which are typical attributes of structures within the Clan Gregor Square sub-area. This contemporary structure's Georgian and Gothic styling is executed with sympathetic materials and reflects the architecture of the historic residential structures within the District.</p>	



Address	17 The Square
District Sub-area	Clan Gregor Square
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in being a representative example of one-storey residential construction typical in the Village during the middle of the nineteenth century. The property supports the distinct character of the Clan Gregor Square sub-area through the orientation of the house-form structure to the square and through the generous front and side lot setbacks affording ample space for mature trees.</p>	



Address	19 The Square
District Sub-area	Clan Gregor Square
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in being a representative example of the economic growth of Bayfield through the expansion of regional trade in the last decades of the nineteenth century. The construction of this buff brick, Italianate residence drew extensively from tradespersons located in the nearby towns of Zurich, Clinton, and Seaforth. As is typical of this sub-area, the two-storey structure is oriented toward Clan Gregor Square and setback on the property, affording ample space for mature trees.</p>	



Address	1 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in it being an exemplary representation of the economic growth of Bayfield throughout the second half of the nineteenth century. The two-storey, Georgian structure was originally built as a commercial establishment but evolved in its use as the community developed. The structure, with its two-storey covered porch and generous street setback marks the southern end of Bayfield Main Street North and typifies the eclectic nature of mixed-use structures in the Main Street North sub-area.</p>	





Address	2 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in its historical association with the growth of the village and expanding congregations during the early decades of the twentieth century. The property also contributes to the District through the structure's modest ecclesiastical architectural and by serving as a visual transition between the Clan Gregor Square and Main Street North sub-areas.</p>	



Address	4 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in being a representative example of the commercial evolution of Bayfield Main Street North in the first decades of the twentieth century. The two-storey structure with Edwardian and Neo-classical architectural elements, served as the Village's post office before evolving through various commercial uses. The structure is representative of the built form of the southern end of the Main Street North sub-area, while its front setback and soft landscaping features contribute to the park-like public realm.</p>	



Address	5 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in being a representative example of the mixed-use commercial and residential properties along Bayfield Main Street North that emerged to service the growing population and trade economy. The one-and two-storey buff brick structure in a vernacular-commercial style maintains a street setback that affords space for the ample public realm that characterizes this sub-area.</p>	



Address	6 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in representing the economic development of Bayfield in the mid-nineteenth century. The two-storey, Georgian structure was originally constructed in 1867, replacing a one-storey frame structure and represents the continued commercial evolution of Bayfield Main Street North during the second half of the nineteenth century. The structure's two-storey covered porch and generous street setback maintains the generous public realm typical of the southern end of Bayfield Main Street North.</p>	





Address	8 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in being a representative example of the development of commercial establishments along Bayfield Main Street North during the second half of the nineteenth century. The two-storey structure dates from the 1860s, features Georgian and Italianate architectural elements, and generally reflects the built-form typology of the Main Street North sub-area. The full-width porch and one-storey addition to the south create inviting interfaces with the public realm of the District.</p>	



Address	9 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	N/A
Contributing Status	Non-contributing, but character supporting
<p><b>Statement of Character Support</b></p> <p>This property supports the character of the District through the articulated one- and two-storey massing of the structure, and through architectural elements like a gable roof and gable dormers that are common to the commercial and residential structures within the Main Street North sub-area. The relief of the street wall along the primary elevation, which leads to an internal courtyard, as well as a patio along the north elevation reinforce the character of the District's public realm.</p>	





Address	10 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in being a representative example of the commercial evolution of Bayfield Main Street North during the second half of the nineteenth century. The two-storey, Georgian &amp; Italianate structure was constructed in 1855, and has associative value as the village's first post office. Also serving as a residence, the property represents the eclectic architecture and mixed-use found within the District.</p>	



Address	11 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	N/A
Contributing Status	Non-contributing
<p><b>Statement of Contribution</b></p> <p>N/A</p>	





Address	12 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing

#### Statement of Contribution

This property's contribution to the District lies in its rare representative examples of the one-storey commercial and residential structures that were once common along the central portion of the Main Street North sub-area. The structures' articulated massing and generous corner and side lot setbacks further contribute to the park-like setting of the public realm along Bayfield Main Street North.

Address	13 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Non-contributing, but character supporting

#### Statement of Character Support

This property supports the character of the District through the modest, one- and two-storey massing of the house-form structure, with hip- and mansard roofs, that reflects the typology of residential and commercial structures built along Bayfield Main Street North in the late 19th and early 20th centuries. Ample lot setbacks afford space for both landscaping elements and a generous interface with the public realm.



Address	14 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in being a representative example of the mixed-use commercial and residential properties along Bayfield Main Street North that evolved in use in order to accommodate the developing village. The two-storey vernacular-commercial style structure maintains the typical street setback that creates an ample and consistent public realm in this sub-area.</p>	



Address	15 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	N/A
Contributing Status	Non-contributing, but character supporting
<p><b>Statement of Character Support</b></p> <p>This property supports the character of the District through the house-form structure's one-and-a-half-storey massing, full-width porch, and gable roof with dormers along the primary elevation that reflect historic architectural elements within the Main Street North sub-area. Soft landscaping features and flanking patios provide interface with the public realm.</p>	





Address	16 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Non-contributing, but character supporting
<p><b>Statement of Character Support</b></p> <p>This property supports the character of the District through the structure's one-storey massing with gable roofs, and the generous landscaped forecourt that affords a substantial and soft interface with the public realm.</p>	



Address	17 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	N/A
Contributing Status	Non-contributing, but character supporting
<p><b>Statement of Character Support</b></p> <p>This property supports the character of the District through the articulated one-and-a-half- to two-storey massing of the structures, the alternating roof planes, and the integration of eclectic architectural elements common among the historic commercial and residential properties within the Main Street North character sub-area. The substantial front setback of the southern-most façade provides space for soft landscaping and a mature tree, which further reinforces the park-like character of the District.</p>	



Address	18 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Non-contributing, but character supporting
<p><b>Statement of Character Support</b></p> <p>This property supports the character of the District through the one-and-a-half-storey massing of the structure, the presence of a hip-roof with inset gable ends, and the generous public forecourt. These elements reflect the built form typologies and public realm interfaces of properties along Bayfield Main Street North and support the park-like character of the District as a whole.</p>	



Address	19 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in being a representative example of the early, modest residential structures that were built along Bayfield Main Street North in the middle of the nineteenth century. Constructed in 1854, the original structure was a one-and-a-half-storey house-form residence that transformed into commercial use—following a trajectory typical of properties within this character sub-area.</p>	





Address	20 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies primarily in its eclectic architecture and evolving use. The one-storey vernacular structure with gable roof was originally located on the west side of Bayfield Main Street North but was moved to its current location in 1977. The property also makes associative contributions to the District through its civic use as a public archives, as well as contextual contributions to the District through its generous setbacks and mature tree canopy.</p>	



Address	21-23 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Non-contributing, but character supporting
<p><b>Statement of Character Support</b></p> <p>This property supports the character of the District by being a representative example of the commercial development and expansion of properties along Bayfield Main Street North during the second half of the nineteenth century. The property contains an agglomeration of heavily-modified one- and two-storey historic and contemporary structures that—through setbacks, porches, and a courtyard—support the generous public realm of the Main Street North sub-area and the District as a whole.</p>	





Address	22 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Non-contributing, but character supporting
<p><b>Statement of Character Support</b></p> <p>This property supports the character of the District through the commercial structure's one-storey massing that features a gable roof and articulated primary elevation, as well as a generous front setback that reinforces the park-like character of the District.</p>	



Address	24 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in it being an exemplary representative example of the historical transformation of property uses along Bayfield Main Street North during the second half of the nineteenth century. The property and its one-and-a-half storey Gothic-style structure contributes to the character of this sub-area through its generous lot setbacks which afford space for soft landscaping features and a mature tree canopy.</p>	





Address	25 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	N/A
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in being a representative example of the commercial evolution of Bayfield Main Street North during the second half of the nineteenth century. The two-storey, vernacular-commercial structure contributes to the District through its evolving use as a residential-turned-commercial property and through its front setback which maintains the generous public realm typical of this sub-area.</p>	



Address	26 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in being a representative example of the evolution of commercial properties on Bayfield Main Street North. The two-storey, Georgian structure was originally constructed in the 1850s, replacing a store-turned-hotel that was consumed by fire. The structure, with its two-storey covered porch and generous front setback, reflects other properties within the District sub-area and maintains the generous public realm typical of the Main Street North sub-area.</p>	





Address	27 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Non-contributing, but character supporting
<p><b>Statement of Character Support</b></p> <p>This property supports the character of the District through the structure's commemoration of the property's nineteenth century commercial inn establishment, and through the full-width, two-storey porch on the front elevation which reinforces the continuity of the public realm along Bayfield Main Street North.</p>	



Address	28 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in being a representative example of the mixed-use commercial and residential properties developed along Bayfield Main Street North to service the developing village. The two-storey vernacular-commercial style structure dates from the beginning of the twentieth century, and the covered porch along the west elevation and its corner entrance contribute eclectic design elements to the public realm and reinforce the overall character of the District.</p>	





Address	29 Bayfield Main Street North
District Sub-area	Main Street North
Heritage Status (2023)	N/A
Contributing Status	Non-contributing, but character supporting
<b>Statement of Character Support</b> <p>This property supports the character of the District through the structure's one-and-a-half-storey massing with gable roof, as well as its integration of architectural elements like Gothic window openings and a full width covered porch on the primary elevation that reflect the historic character of the commercial and residential properties within the District. The generous front setback provides space for soft landscaping features and a row of mature trees that reinforce the park-like character of the District.</p>	



Address	30 Bayfield Main Street North
District Sub-area	Pioneer Park (Meadows)
Heritage Status (2023)	N/A
Contributing Status	Non-contributing (vacant lot)
<b>Statement of Contribution</b> <p>N/A</p>	





Address	31 Bayfield Main Street North
District Sub-area	Pioneer Park (Meadows)
Heritage Status (2023)	Part V
Contributing Status	Non-contributing
<b>Statement of Contribution</b>  N/A	



Address	32 Bayfield Main Street North
District Sub-area	Pioneer Park (Meadows)
Heritage Status (2023)	Part V
Contributing Status	Contributing
<b>Statement of Contribution</b>  This property's contribution to the District lies in being a representative example of the residential use and house-form architecture typical of the Pioneer Park (Meadows) sub-area. The one-storey Regency cottage-style structure was constructed in 1858 and has associative ties to the development of Bayfield's maritime economy through its ownership. As is typical of contributing properties within the Pioneer Park (Meadows) sub-area, the generous setbacks and extensive tree canopy contributes to the area's park-like setting.	



Address	33 Bayfield Main Street North
District Sub-area	Pioneer Park (Meadows)
Heritage Status (2023)	N/A
Contributing Status	Non-contributing, but character supporting
<p><b>Statement of Character Support</b></p> <p>This property supports the character of the District through the structure's one-storey massing with hip-roof and the generous front and side lot setbacks that create ample space for mature trees which contribute to the park-like setting of the Pioneer Park (Meadows) sub-area and the District as a whole.</p>	



Address	35 Bayfield Main Street North
District Sub-area	Pioneer Park (Meadows)
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in being a representative example of the residential use and house-form architecture typical of the Pioneer Park sub-area. The two-storey Georgian structure dates from 1877 and reflects the growing prosperity of Bayfield and the redevelopment of residential properties at the northern end of Bayfield Main Street North during this time. With generous front and side setbacks, the property contributes to the park-like setting of the northern end of the District in this sub-area.</p>	





Address	37 Bayfield Main Street North
District Sub-area	Pioneer Park (Meadows)
Heritage Status (2023)	N/A
Contributing Status	Non-contributing, but character supporting
<p><b>Statement of Character Support</b></p> <p>This property supports the character of the District through the one-and two-storey massing of the residential structure with hip and gable roofs and covered porches that reflect the architectural elements of residential properties within the District. The generous front and side setbacks create ample space for mature trees which contribute to the park-like setting of the Pioneer Park (Meadows) sub-area and the District as a whole.</p>	











Address	34 Bayfield Terrace
District Sub-area	Pioneer Park (Meadows)
Heritage Status (2023)	Part V
Contributing Status	Contributing
<p><b>Statement of Contribution</b></p> <p>This property's contribution to the District lies in being a representative example of the economic growth of Bayfield during the latter half of the nineteenth-century. During this time, the one-storey house-form structure was expanded with a second storey and embellished with ornamentation. The property exemplifies the character of the Pioneer Park (Meadows) sub-area though the siting of the two-storey structure on a lot generously populated with mature trees.</p>	






# APPENDIX B: Heritage Colour Palettes

Heritage Colour Palette

<div>Tyler Taupe</div> <div>HC-43</div>	<div>Mystic Gold</div> <div>HC-37</div>	<div>Waterbury Cream</div> <div>HC-31</div>	<div>Quincy Tan</div> <div>HC-25</div>	<div>Norwich Brown</div> <div>HC-19</div>	<div>Millington Gold</div> <div>HC-13</div>	<div>Bryant Gold</div> <div>HC-7</div>	<div>Castleton Mist</div> <div>HC-1</div>
<div>Lenox Tan</div> <div>HC-44</div>	<div>Decatur Buff</div> <div>HC-38</div>	<div>Standish White</div> <div>HC-32</div>	<div>Monroe Bisque</div> <div>HC-26</div>	<div>Woodstock Tan</div> <div>HC-20</div>	<div>Princeton Gold</div> <div>HC-14</div>	<div>Dorset Gold</div> <div>HC-8</div>	<div>Beacon Hill Damask</div> <div>HC-2</div>
<div>Shaker Beige</div> <div>HC-45</div>	<div>Putnam Ivory</div> <div>HC-39</div>	<div>Montgomery White</div> <div>HC-33</div>	<div>Monterey White</div> <div>HC-27</div>	<div>Huntington Beige</div> <div>HC-21</div>	<div>Henderson Buff</div> <div>HC-15</div>	<div>Chestertown Buff</div> <div>HC-9</div>	<div>Greenmount Silk</div> <div>HC-3</div>
<div>Jackson Tan</div> <div>HC-46</div>	<div>Greenfield Pumpkin</div> <div>HC-40</div>	<div>Wilmington Tan</div> <div>HC-34</div>	<div>Shelburne Buff</div> <div>HC-28</div>	<div>Blair Gold</div> <div>HC-22</div>	<div>Livingston Gold</div> <div>HC-16</div>	<div>Stuart Gold</div> <div>HC-10</div>	<div>Hawthorne Yellow</div> <div>HC-4</div>
<div>Brookline Beige</div> <div>HC-47</div>	<div>Richmond Gold</div> <div>HC-41</div>	<div>Powell Buff</div> <div>HC-35</div>	<div>Dunmore Cream</div> <div>HC-29</div>	<div>Yorkshire Tan</div> <div>HC-23</div>	<div>Summerdale Gold</div> <div>HC-17</div>	<div>Marblehead Gold</div> <div>HC-11</div>	<div>Weston Flax</div> <div>HC-5</div>
<div>Bradstreet Beige</div> <div>HC-48</div>	<div>Roxbury Caramel</div> <div>HC-42</div>	<div>Hepplewhite Ivory</div> <div>HC-36</div>	<div>Philadelphia Cream</div> <div>HC-30</div>	<div>Pittsfield Buff</div> <div>HC-24</div>	<div>Adams Gold</div> <div>HC-18</div>	<div>Concord Ivory</div> <div>HC-12</div>	<div>Windham Cream</div> <div>HC-6</div>
<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>











Heritage Colour Palette

<div>Danville Tan</div> <div>HC-91</div>	<div>Fairview Taupe</div> <div>HC-85</div>	<div>Greenbrier Beige</div> <div>HC-79</div>	<div>Plymouth Brown</div> <div>HC-73</div>	<div>Clinton Brown</div> <div>HC-67</div>	<div>New London Burgundy</div> <div>HC-61</div>	<div>Winthrop Peach</div> <div>HC-55</div>	<div>Mayflower Red</div> <div>HC-49</div>
<div>Wheeling Neutral</div> <div>HC-92</div>	<div>Kingsport Gray</div> <div>HC-86</div>	<div>Bleeker Beige</div> <div>HC-80</div>	<div>Valley Forge Brown</div> <div>HC-74</div>	<div>Middlebury Brown</div> <div>HC-68</div>	<div>Somerville Red</div> <div>HC-62</div>	<div>Georgetown Pink Beige</div> <div>HC-56</div>	<div>Georgian Brick</div> <div>HC-50</div>
<div>Carrington Beige</div> <div>HC-93</div>	<div>Ashley Gray</div> <div>HC-87</div>	<div>Manchester Tan</div> <div>HC-81</div>	<div>Maryville Brown</div> <div>HC-75</div>	<div>Whitall Brown</div> <div>HC-69</div>	<div>Monticello Rose</div> <div>HC-63</div>	<div>Sheraton Beige</div> <div>HC-57</div>	<div>Audubon Russet</div> <div>HC-51</div>
<div>Old Salem Gray</div> <div>HC-94</div>	<div>Jamesboro Gold</div> <div>HC-88</div>	<div>Bennington Gray</div> <div>HC-82</div>	<div>Davenport Tan</div> <div>HC-76</div>	<div>Van Buren Brown</div> <div>HC-70</div>	<div>Townsend Harbor Brown</div> <div>HC-64</div>	<div>Chippendale Rosetone</div> <div>HC-58</div>	<div>Ansonia Peach</div> <div>HC-52</div>
<div>Sag Harbor Gray</div> <div>HC-95</div>	<div>Northampton Putty</div> <div>HC-89</div>	<div>Grant Beige</div> <div>HC-83</div>	<div>Alexandria Beige</div> <div>HC-77</div>	<div>Hasbrouck Brown</div> <div>HC-71</div>	<div>Hodley Red</div> <div>HC-65</div>	<div>Odessa Pink</div> <div>HC-59</div>	<div>Hathaway Peach</div> <div>HC-53</div>
<div>Richmond Gray</div> <div>HC-96</div>	<div>Crown Point Sand</div> <div>HC-90</div>	<div>Elmira White</div> <div>HC-84</div>	<div>Litchfield Gray</div> <div>HC-78</div>	<div>Branchport Brown</div> <div>HC-72</div>	<div>Garrison Red</div> <div>HC-66</div>	<div>Queen Anne Pink</div> <div>HC-60</div>	<div>Jumel Peachtone</div> <div>HC-54</div>
<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>



Heritage Colour Palette

Salisbury Green HC-139	Yorktowne Green HC-133	Fairmont Green HC-127	Peale Green HC-121	Georgian Green HC-115	Sussex Green HC-109	Cromwell Gray HC-103	Hancock Gray HC-97
Prescott Green HC-140	Tarrytown Green HC-134	Clearspring Green HC-128	Great Barrington Green HC-122	Guilford Green HC-116	Wethersfield Moss HC-110	Copley Gray HC-104	Providence Olive HC-98
Hollingsworth Green HC-141	Lafayette Green HC-135	Southfield Green HC-129	Kennebunkport Green HC-123	Hancock Green HC-117	Nantucket Gray HC-111	Rockport Gray HC-105	Abingdon Putty HC-99
Stratton Blue HC-142	Waterbury Green HC-136	Webster Green HC-130	Caldwell Green HC-124	Sherwood Green HC-118	Tate Olive HC-112	Crownsville Gray HC-106	Gloucester Sage HC-100
Wythe Blue HC-143	Mill Springs Blue HC-137	Lehigh Green HC-131	Cushing Green HC-125	Kittery Point Green HC-119	Louisburg Green HC-113	Gettysburg Gray HC-107	Hampshire Gray HC-101
Palladian Blue HC-144	Covington Blue HC-138	Harrisburg Green HC-132	Avon Green HC-126	Van Alen Green HC-120	Saybrook Sage HC-114	Sandy Hook Gray HC-108	Clarksville Gray HC-102
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Heritage Colour Palette

<div>Black Forest Green</div> <div>HC-187</div>	<div>Heritage Red</div> <div>HC-181</div>	<div>Briarwood</div> <div>HC-175</div>	<div>Coventry Gray</div> <div>HC-169</div>	<div>Duxbury Gray</div> <div>HC-163</div>	<div>Narragansett Green</div> <div>HC-157</div>	<div>Buckland Blue</div> <div>HC-151</div>	<div>Van Courtland Blue</div> <div>HC-145</div>
<div>Essex Green</div> <div>HC-188</div>	<div>Classic Burgundy</div> <div>HC-182</div>	<div>Annapolis Gray</div> <div>HC-176</div>	<div>Stonington Gray</div> <div>HC-170</div>	<div>Puritan Gray</div> <div>HC-164</div>	<div>Newburg Green</div> <div>HC-158</div>	<div>Whipple Blue</div> <div>HC-152</div>	<div>Wedgewood Gray</div> <div>HC-146</div>
<div>Chrome Green</div> <div>HC-189</div>	<div>Country Redwood</div> <div>HC-183</div>	<div>Richmond Bisque</div> <div>HC-177</div>	<div>Wickham Gray</div> <div>HC-171</div>	<div>Boothbay Gray</div> <div>HC-165</div>	<div>Philipsburg Blue</div> <div>HC-159</div>	<div>Marlboro Blue</div> <div>HC-153</div>	<div>Woodlawn Blue</div> <div>HC-147</div>
<div>Black</div> <div>HC-190</div>	<div>Cottage Red</div> <div>HC-184</div>	<div>Charcoal Slate</div> <div>HC-178</div>	<div>Revere Pewter</div> <div>HC-172</div>	<div>Kendall Charcoal</div> <div>HC-166</div>	<div>Knoxville Gray</div> <div>HC-160</div>	<div>Hale Navy</div> <div>HC-154</div>	<div>Jamestown Blue</div> <div>HC-148</div>
<div>Hamilton Blue</div> <div>HC-191</div>	<div>Tudor Brown</div> <div>HC-185</div>	<div>Platinum Gray</div> <div>HC-179</div>	<div>Edgecomb Gray</div> <div>HC-173</div>	<div>Amherst Gray</div> <div>HC-167</div>	<div>Templeton Gray</div> <div>HC-161</div>	<div>Newburyport Blue</div> <div>HC-155</div>	<div>Buxton Blue</div> <div>HC-149</div>
	<div>Charleston Brown</div> <div>HC-186</div>	<div>Cliffside Gray</div> <div>HC-180</div>	<div>Lancaster Whitewash</div> <div>HC-174</div>	<div>Chelsea Gray</div> <div>HC-168</div>	<div>Brewster Gray</div> <div>HC-162</div>	<div>Van Deusen Blue</div> <div>HC-156</div>	<div>Yarmouth Blue</div> <div>HC-150</div>
<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>	<div> Benjamin Moore®</div>

